Landmarks Preservation Commission

February 3, 2026
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-04358

114 Fort Greene Place – Brooklyn Academy of Music Historic District – Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 161 897 1031
Passcode: 399948
By Phone: 646-828-7666 (NY)
833-435-1820 (Toll-free)
833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

114 Fort Greene Place Project Description

114 Fort Greene Place has lost some of its original architectural detail and is in poor condition. We intend to restore the front of the building and the upper portion of the rear facade.

We are here specifically to discuss the rear addition and bulkhead. These additions were unanimously endorsed by the BKCB2 Land Use Committee.

<u>Rear Addition</u>

- We are proposing a 2-story addition clad in brick.
- The proposed rear addition will be in keeping the scale, detail and style of a rowhouse.
- We are proposing to restore the upper two floors of the rear facade.

<u>Bulkhead</u>

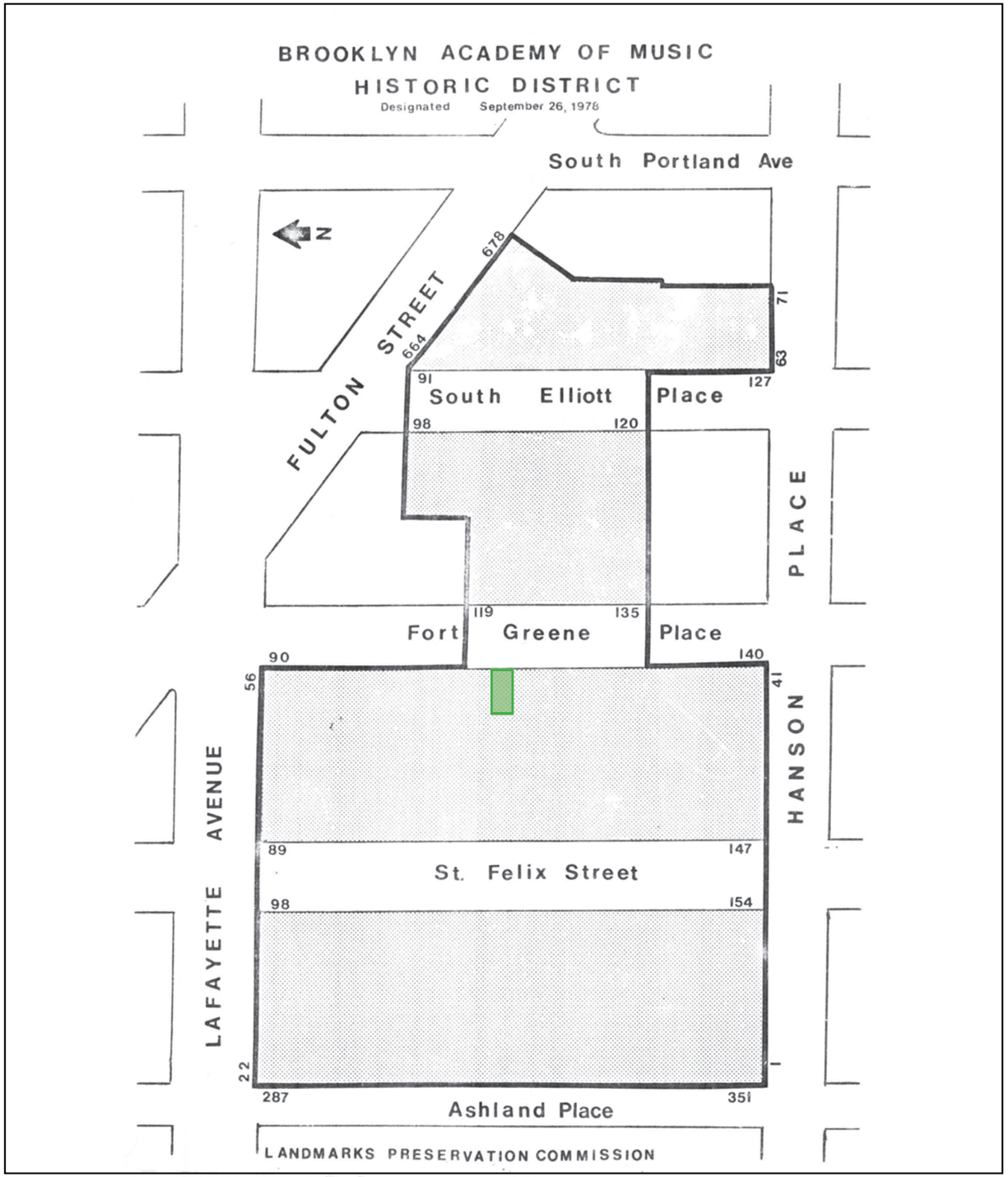
- We are proposing a bulkhead clad in aged copper.
- The addition will be dark to minimize its visual impact.

*Seen here is a 1940's tax ID photograph of the site.

BAM Historic District

114 Fort Greene Place sits within the Brooklyn Academy of Music Historic District.

114 Fort Greene Place is highlighted in green.

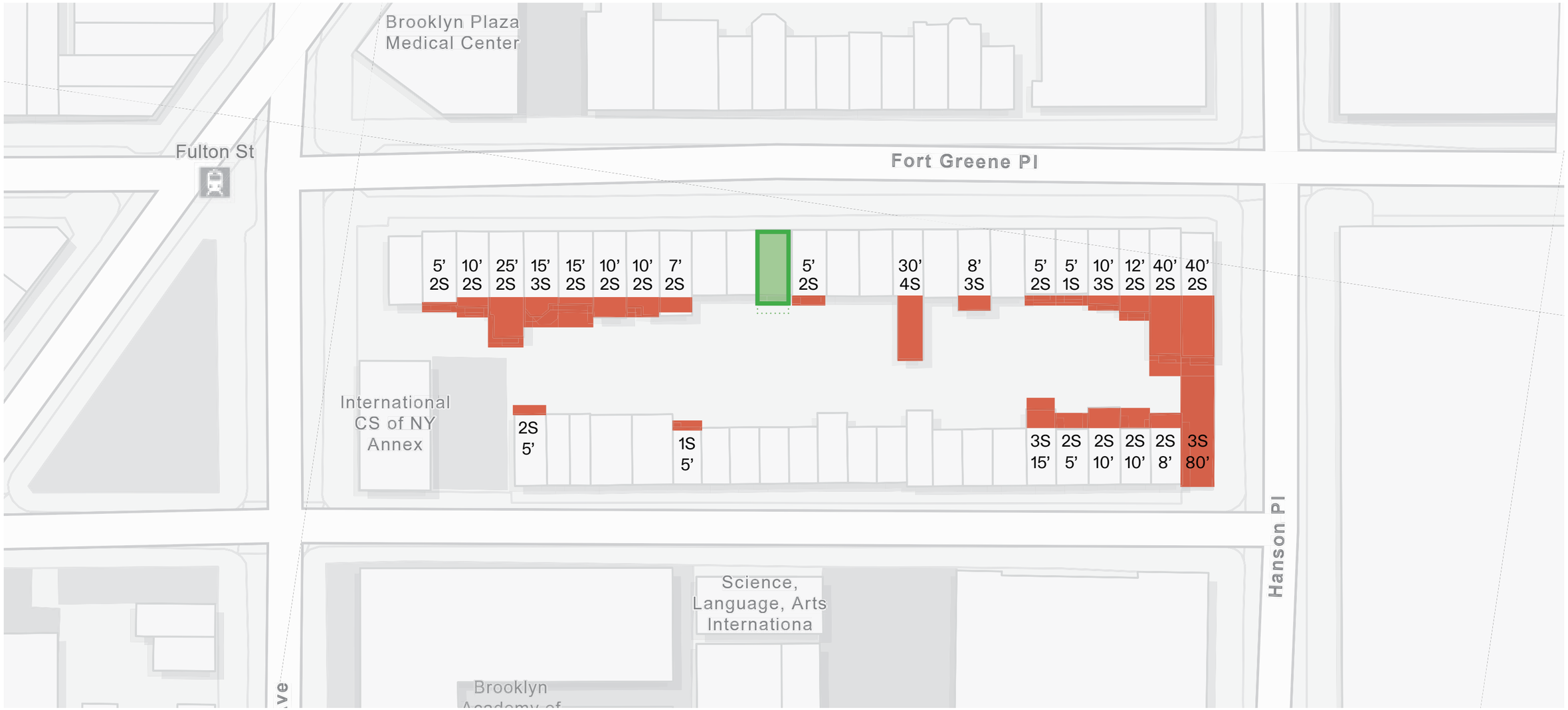


Aerial Site Plan

114 Fort Greene Place is part of a doughnut (block 2112) that has previously approved additions.

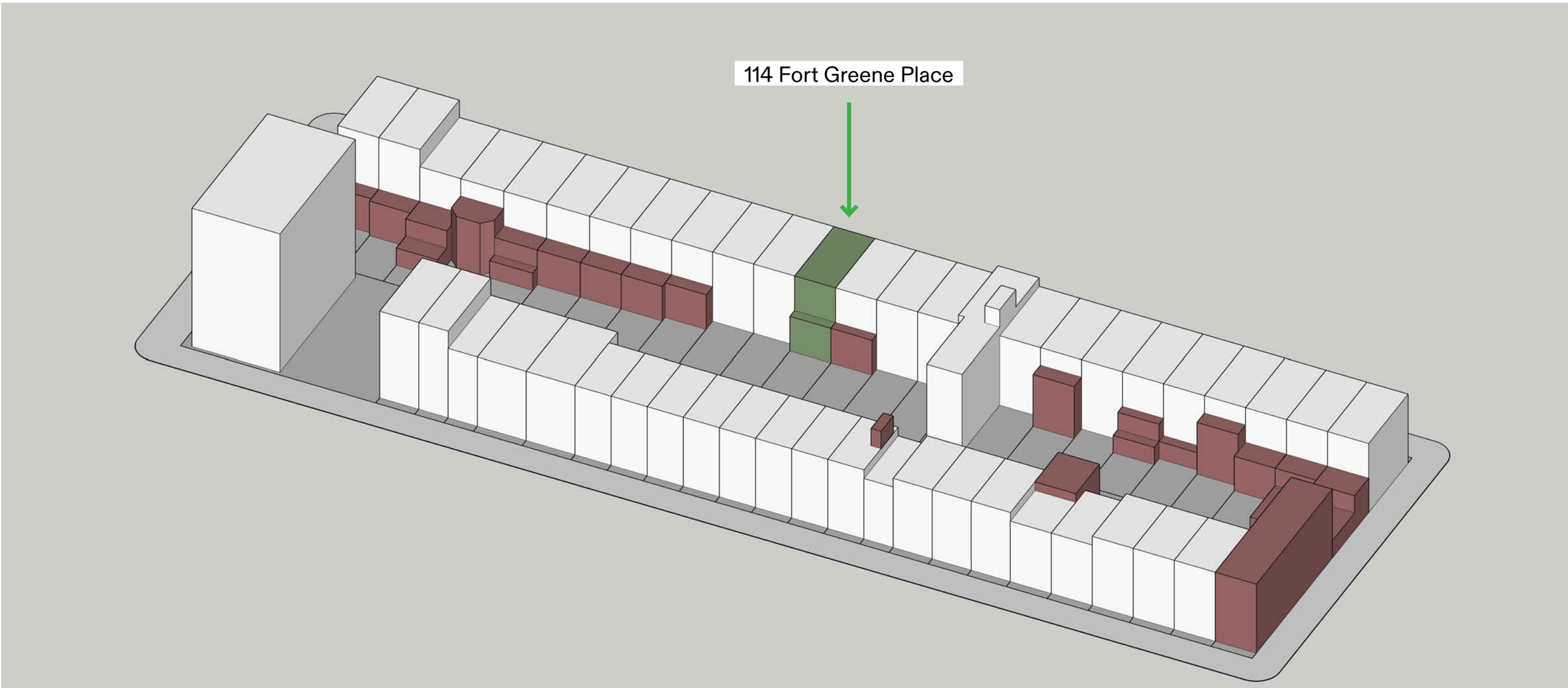
Block Plan

There are 47 rowhouse-type buildings on the block, 25 feature a rear protrusion into the middle of the block.



Block Axonometric — Existing

Here is a three dimensional visualization of the block.

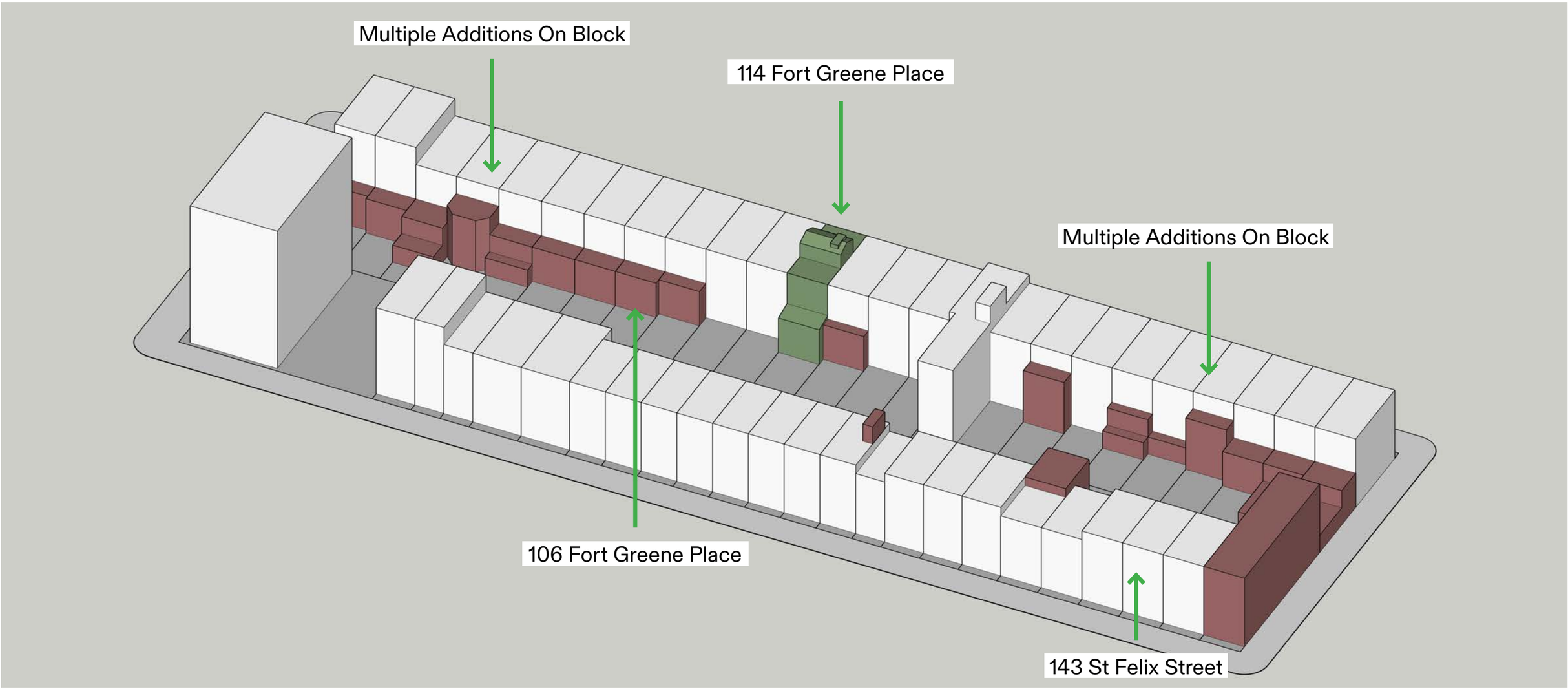


Block Axonometric — Proposed

The proposed rear addition and bulkhead retains the scale of an individual rowhouse.

Block Axonometric — Recent Neighboring Additions

In 2025, a two-story rear addition approved at 106 Fort Greene Place (CNE-25-11010).
In 2017, a two-story 14’ rear yard addition was approved at 143 St. Felix St (COFA-19-08573).



Facades

The front facade restoration will be reviewed at the LPC staff level. The proposed rear addition, shown in subsequent slides, will replace non-historic conditions.

Front Existing

Rear Existing

Neighboring Building Conditions

Here are images of the rear facades immediately adjacent to the project site.

Rear Facade of 112 Fort Greene Place

Rear Facade of 116 Fort Greene Place

Neighboring Building Conditions

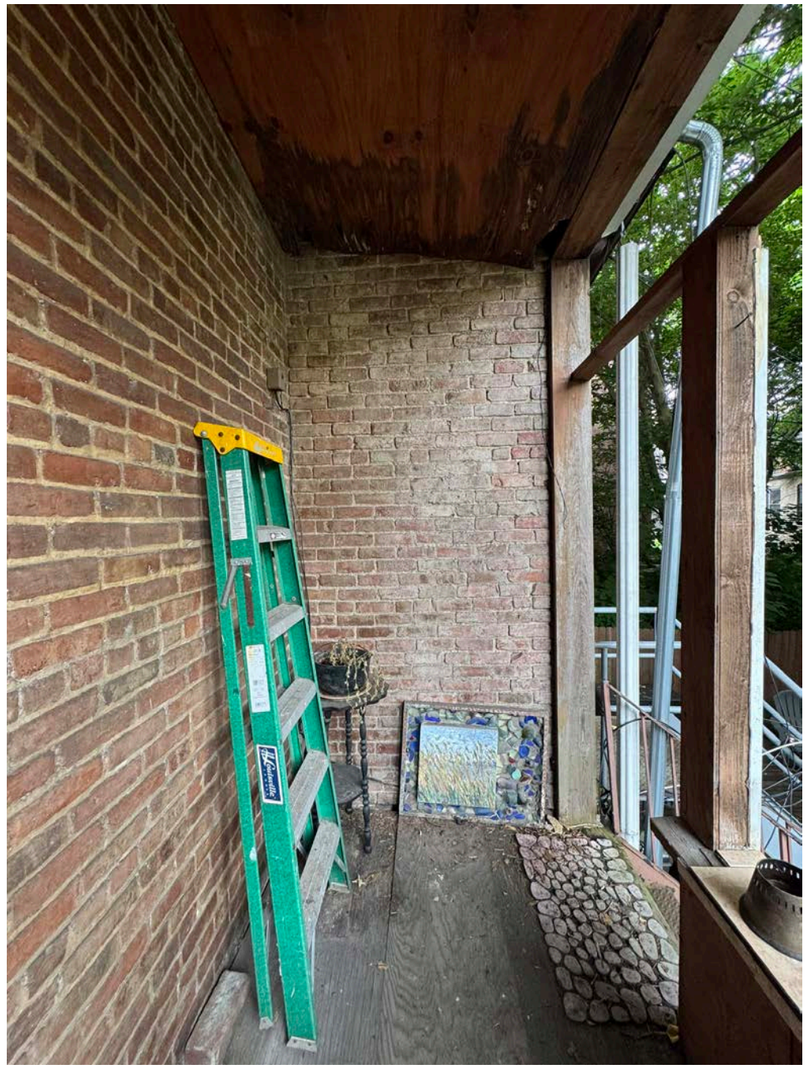
There are multiple existing 2-story rear additions that are visible. Here are some examples that are within close proximity to 114 Fort Greene Place.

108 Fort Greene Place:
2-Story Rear Addition, approximately 10’ deep.

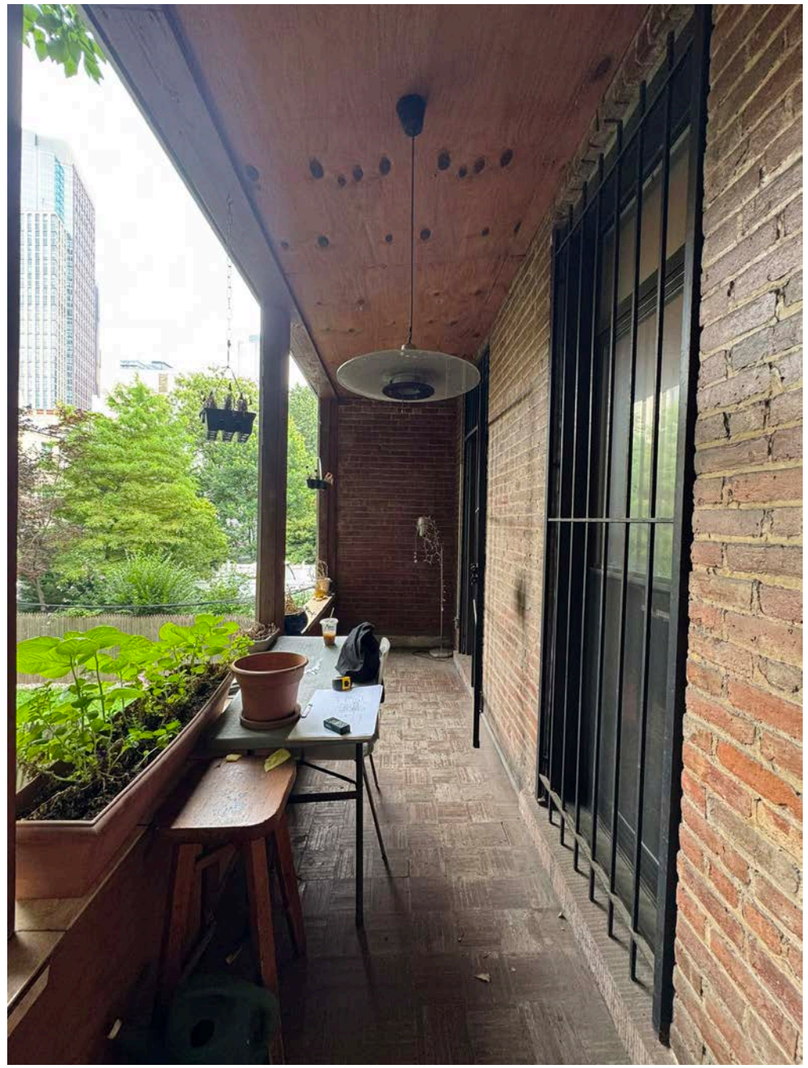
View from the roof of 114 Fort Greene Place:
Multiple rear protrusions are visible.

Existing Porch

The existing rear yard structure at 114 Fort Greene Place is in poor condition.



Roof shows sever signs of water damage. Posts are constructed of exposed wood and appear weathered.

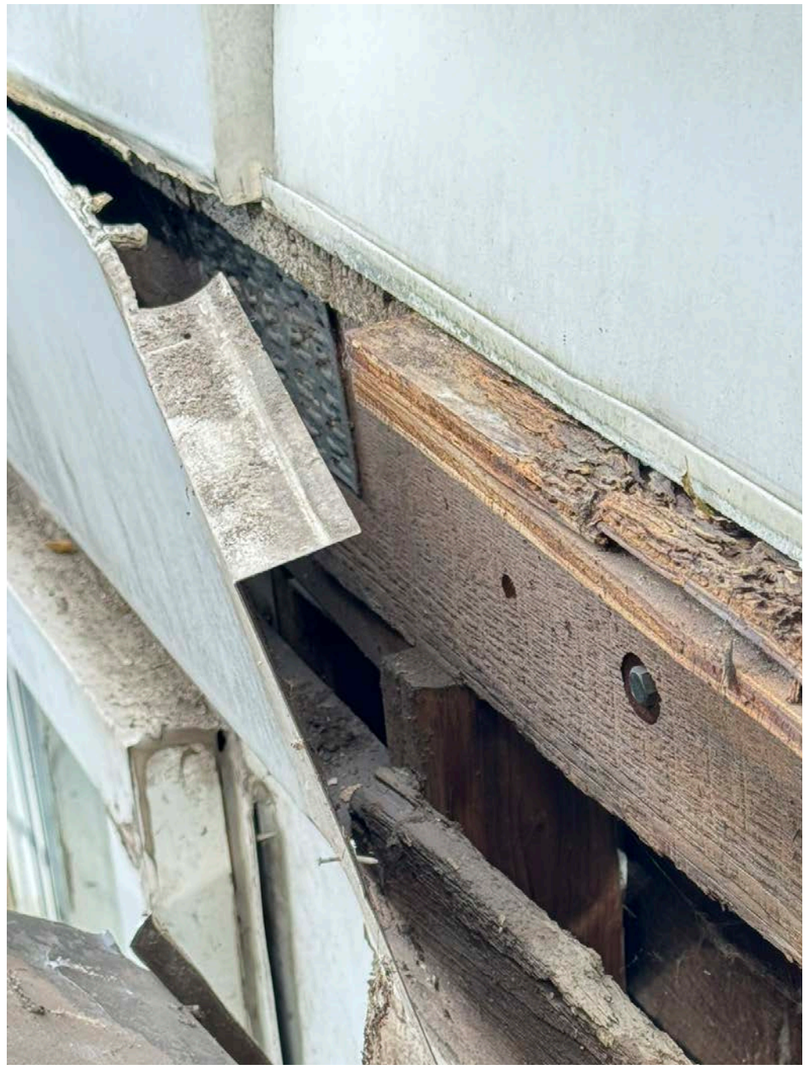


Existing floor is not suitable for exterior application, the integrity of the structure beneath is a concern.

Cladding and windows are non-historic and show signs of degradation and general aging.

Existing Porch — Probes

Probes reveal non-historic detail and signs of degradation.



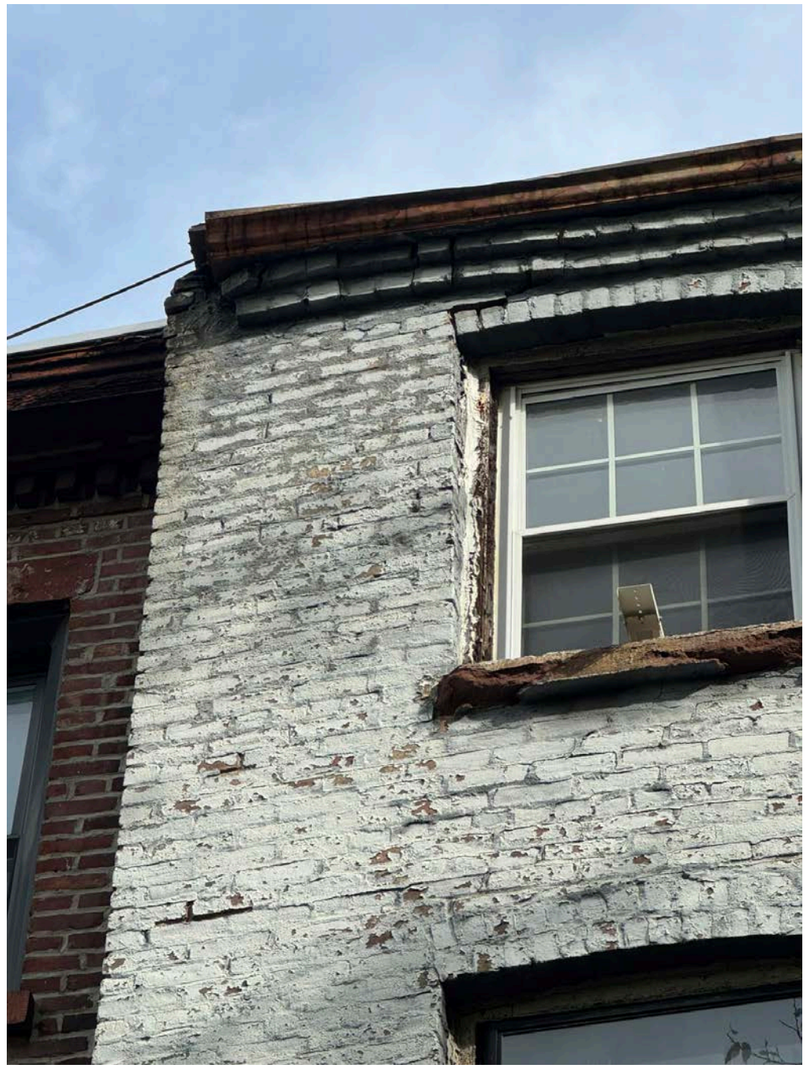
Connections are non-historic metal fasteners (bolts and gang nails). Siding is degrading vinyl.

Structural posts are assembly of non-historic dimensional lumber and sheet material.

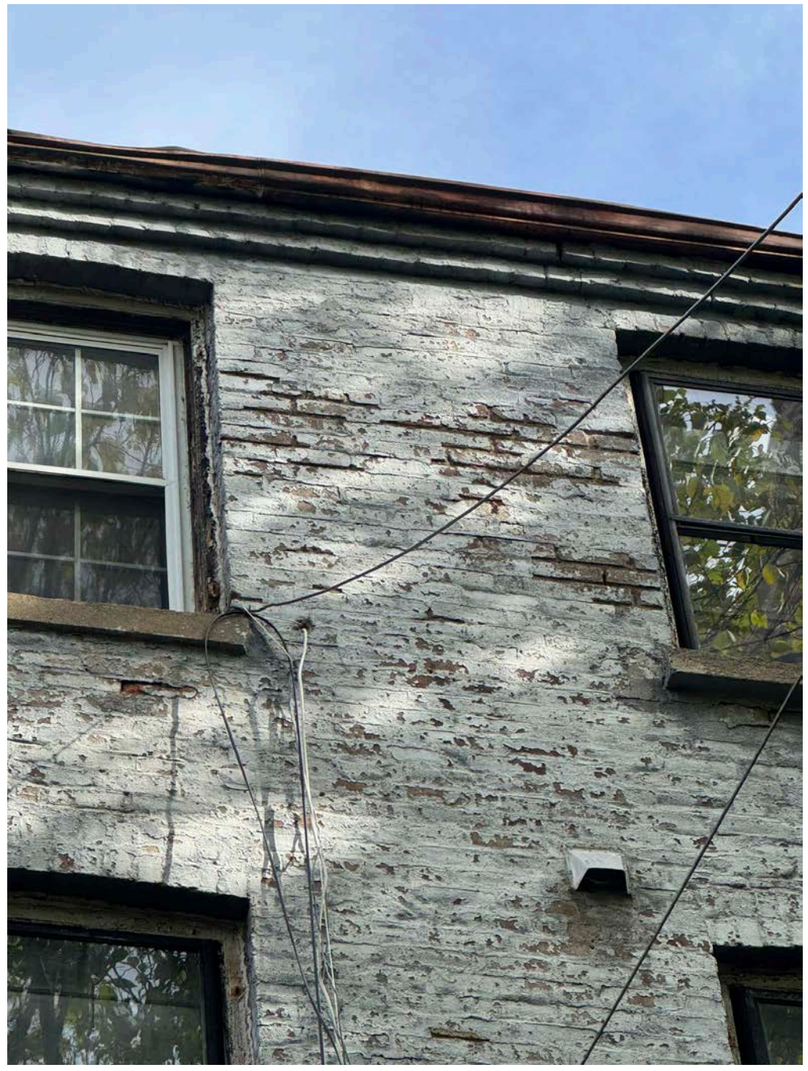
Structure is rotting out from within due to apparent water damage and poses unsafe conditions.

Rear Masonry

Rear masonry is in poor condition and must be replaced. Third floor windows will be replaced in kind and in the existing locations.



The corbeled cornice is deforming outwards as is the upper portion of wall.

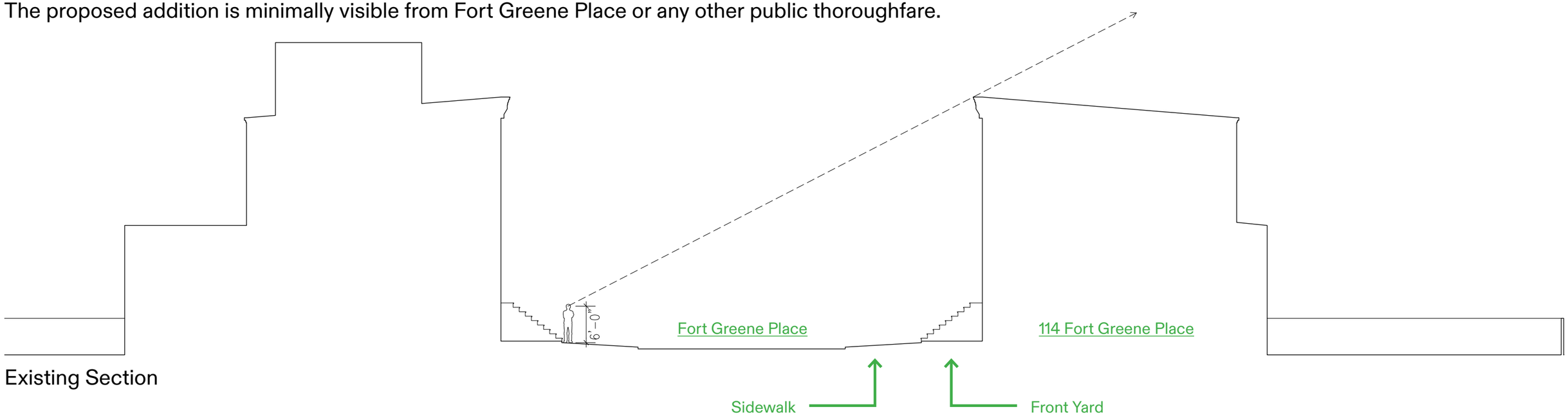


Brick spalling is present, likely due to trapped moisture behind painted finish.

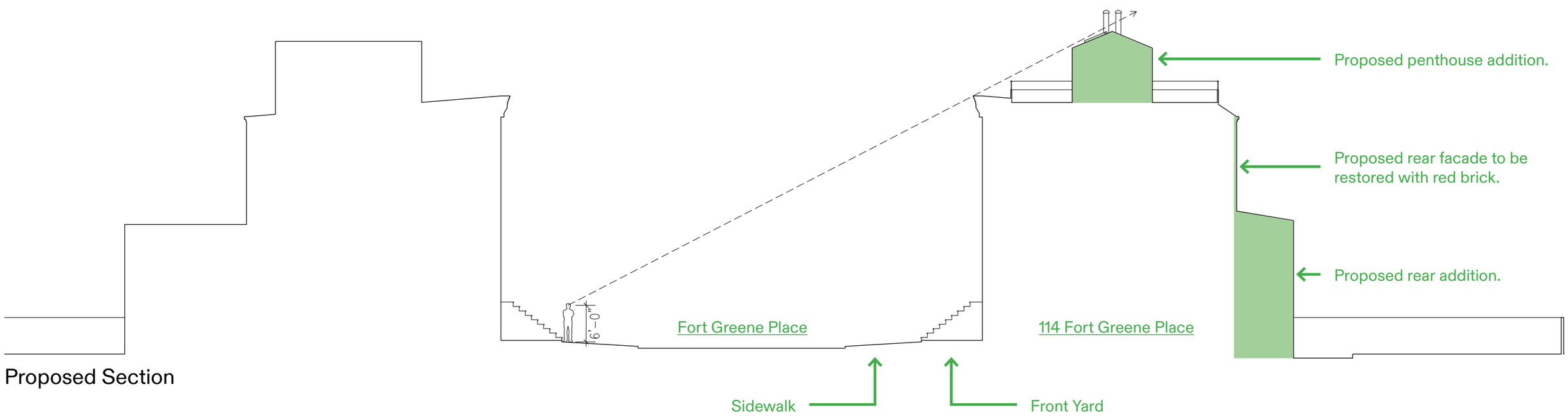
Signs of mortar fretting are present at multiple locations across the rear facade.

Street Sight-Line

The proposed addition is minimally visible from Fort Greene Place or any other public thoroughfare.



Existing Section



Proposed Section

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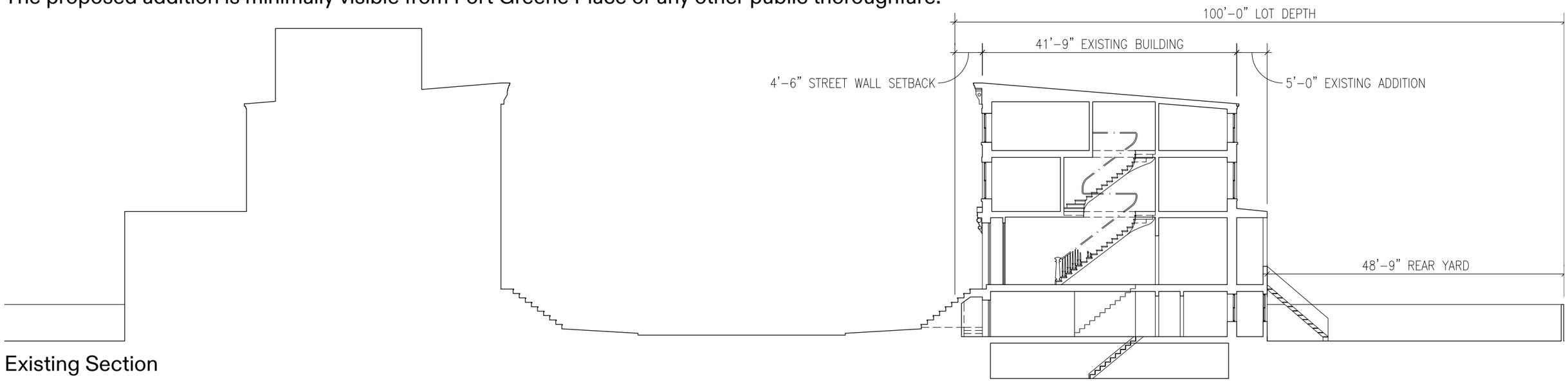

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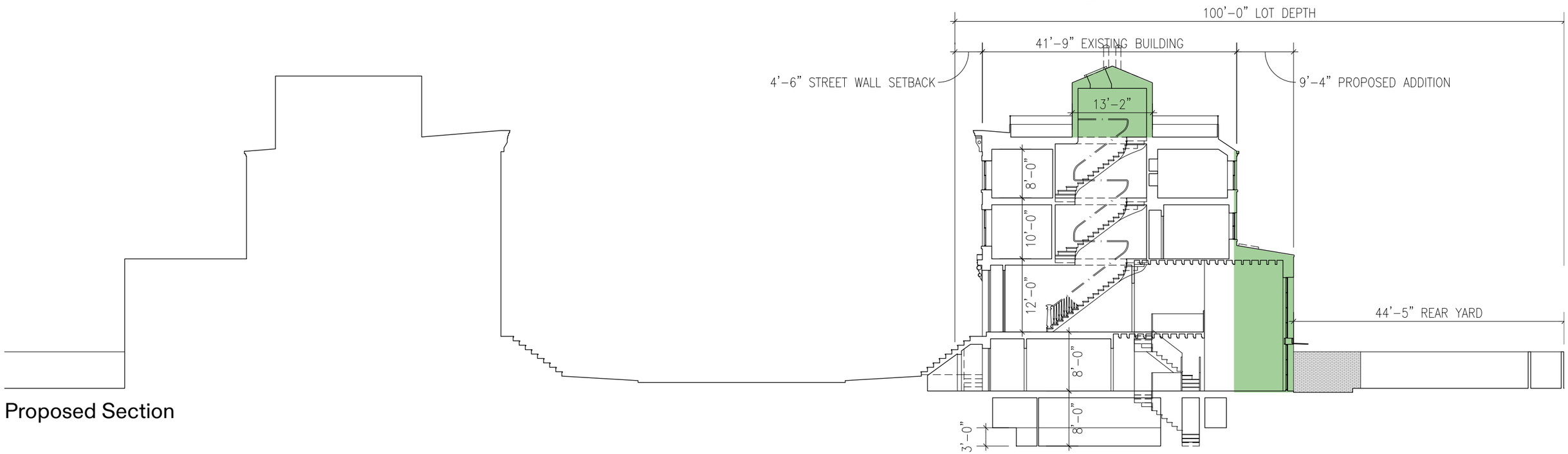
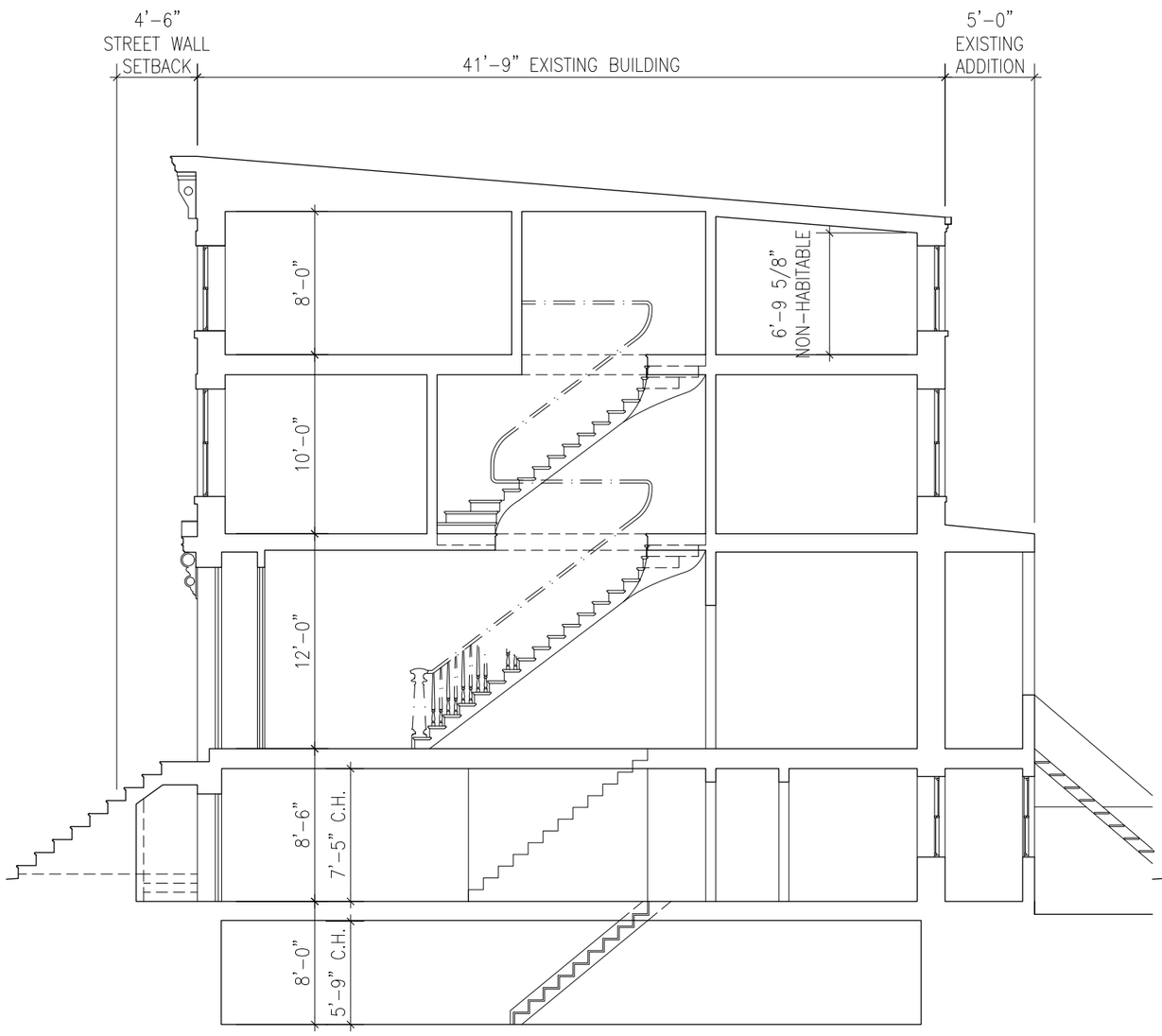


Proposed Section

Building Section — Enlarged

The proposed section will maintain and enhance the elegant sectional qualities of a rowhouse.



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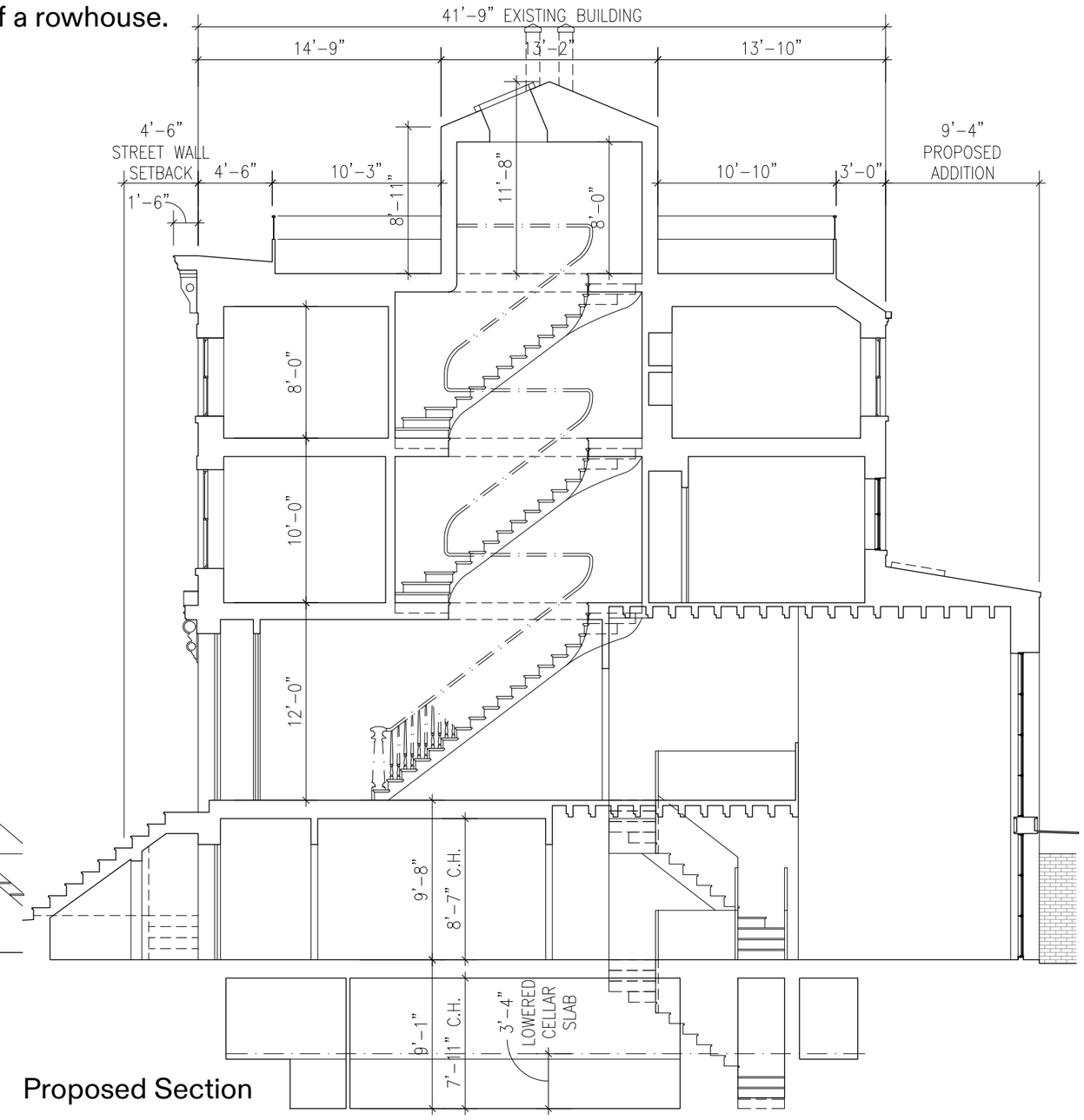
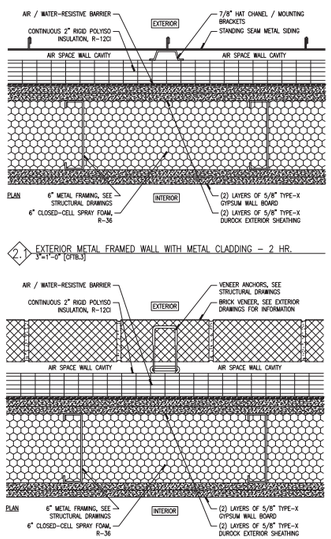


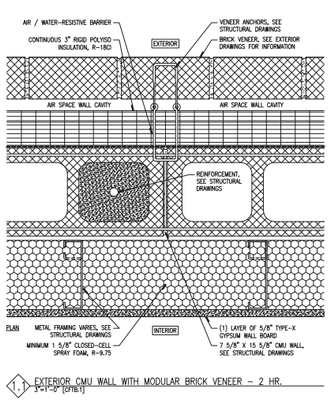
Proposed Section

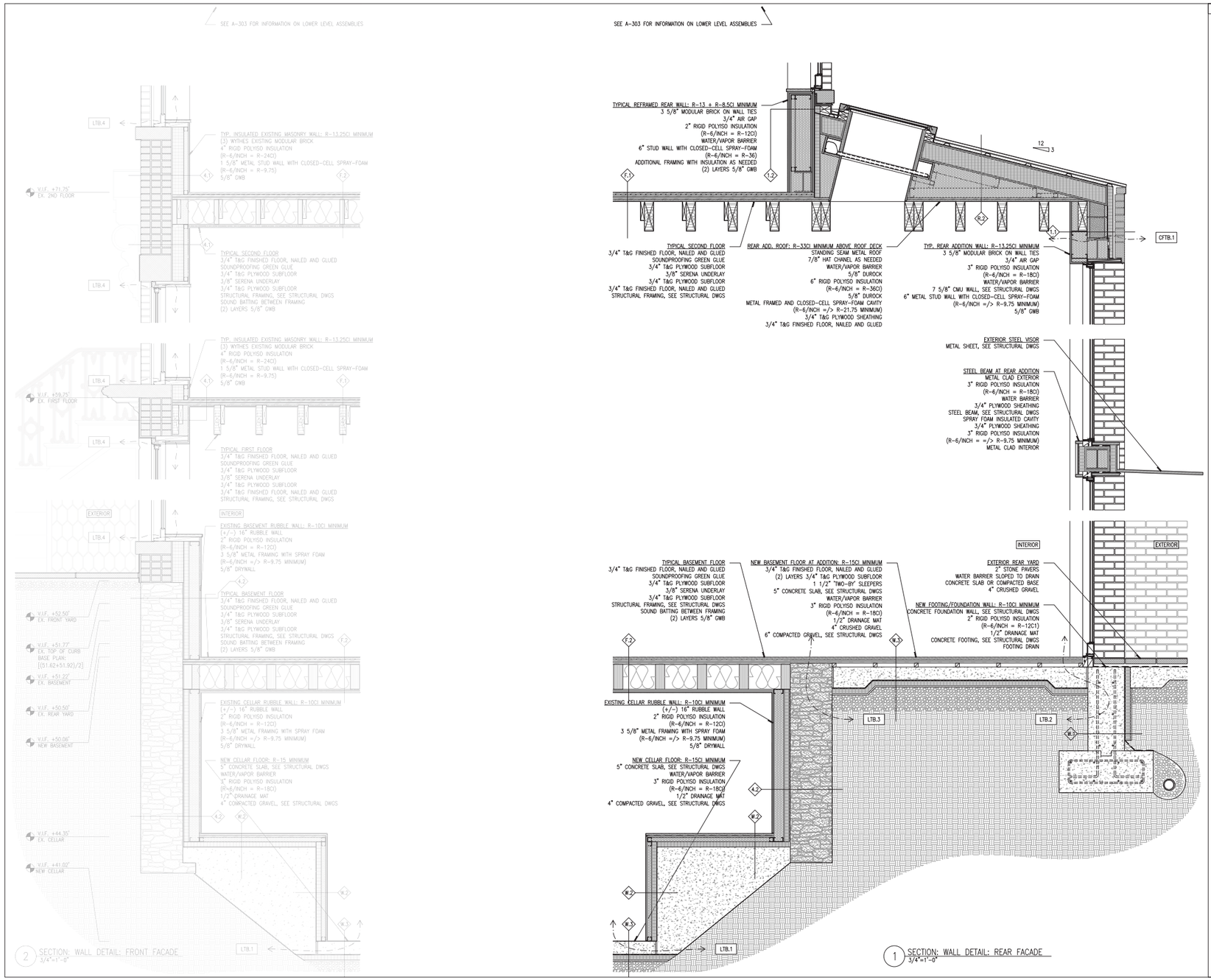
Wall Section - Detail (1 of 2)

The rear addition and facade reconstruction is code compliant and designed by a certified structural engineer.

The rear facade will be composed of full brick over structural framing.







CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- NEW DOOR. SEE DOOR SCHEDULE DOOR NUMBER FLOOR NUMBER
- NEW WINDOW. SEE WINDOW SCHEDULE WINDOW NUMBER WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
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- REVISION NOTE
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- SECTION MARKER TAG — DRAWING NUMBER, SHEET NUMBER
- INTERIOR ELEVATION TAG — SHEET NUMBER, DRAWING NUMBER
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LIST OF SEPARATE APPLICATIONS
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STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6
BUILDERS PAVEMENT PLAN JOB #: 340922997

SEAL
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REV	DATE	DESCRIPTION
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01	12/22/2025	DOB FILING

DOB NOW JOB NUMBER
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ISSUED FOR	DOB FILING

SHEET TITLE
SECTION: WALL DETAILS FRONT FACADE

SHEET NUMBER
A-302.00

29 OF 37

Wall Section - Detail (2 of 2)

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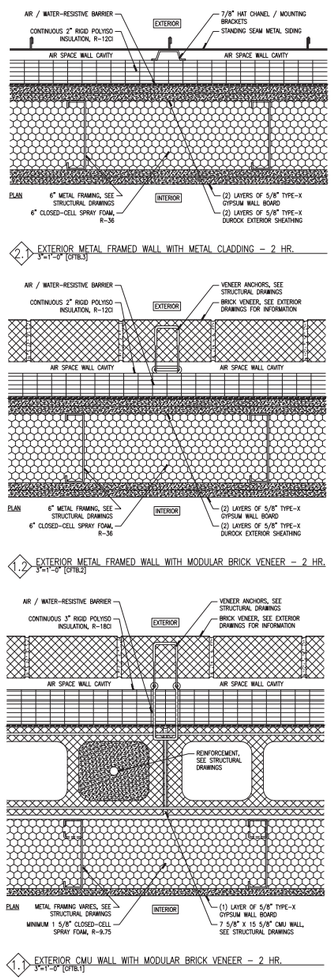

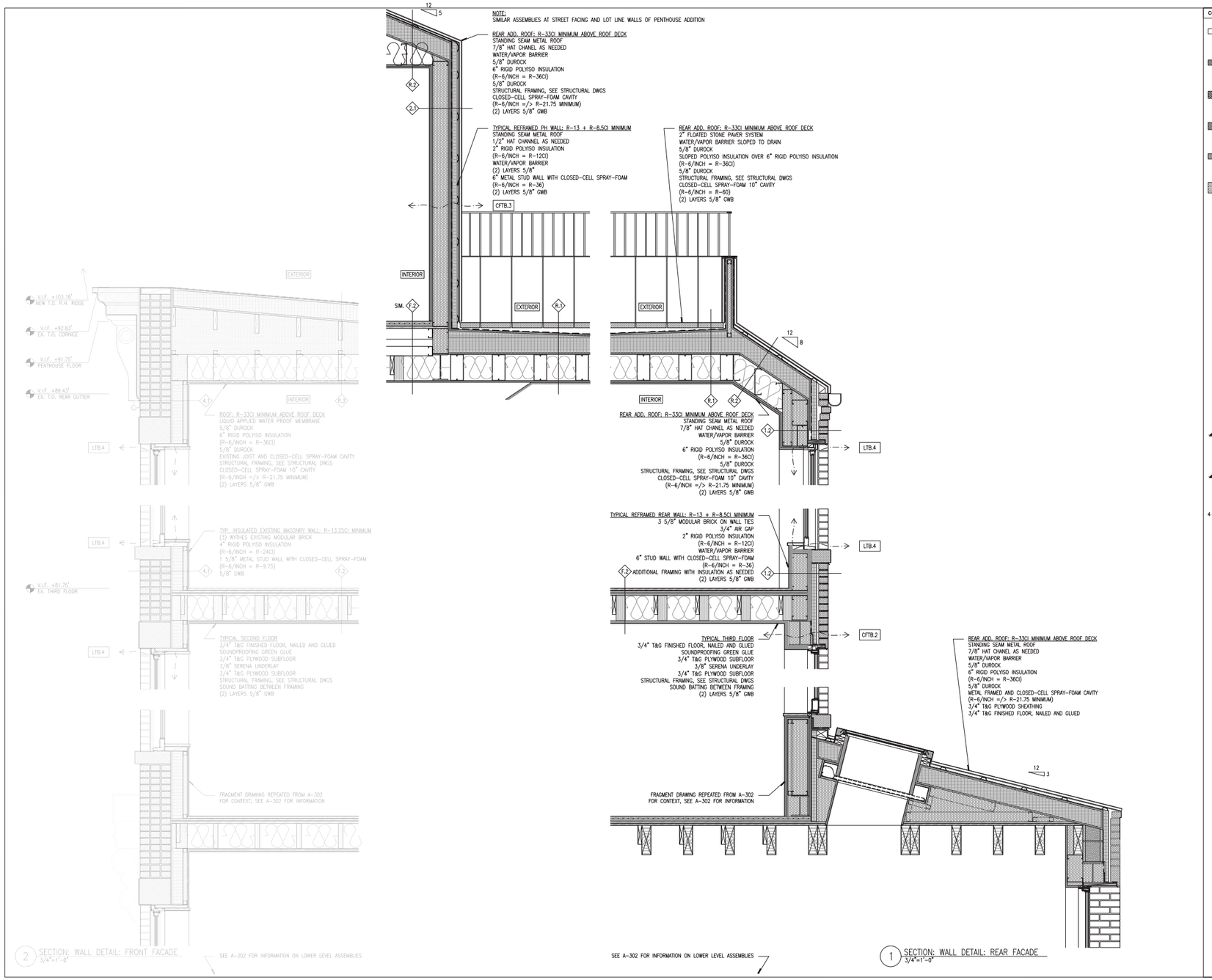

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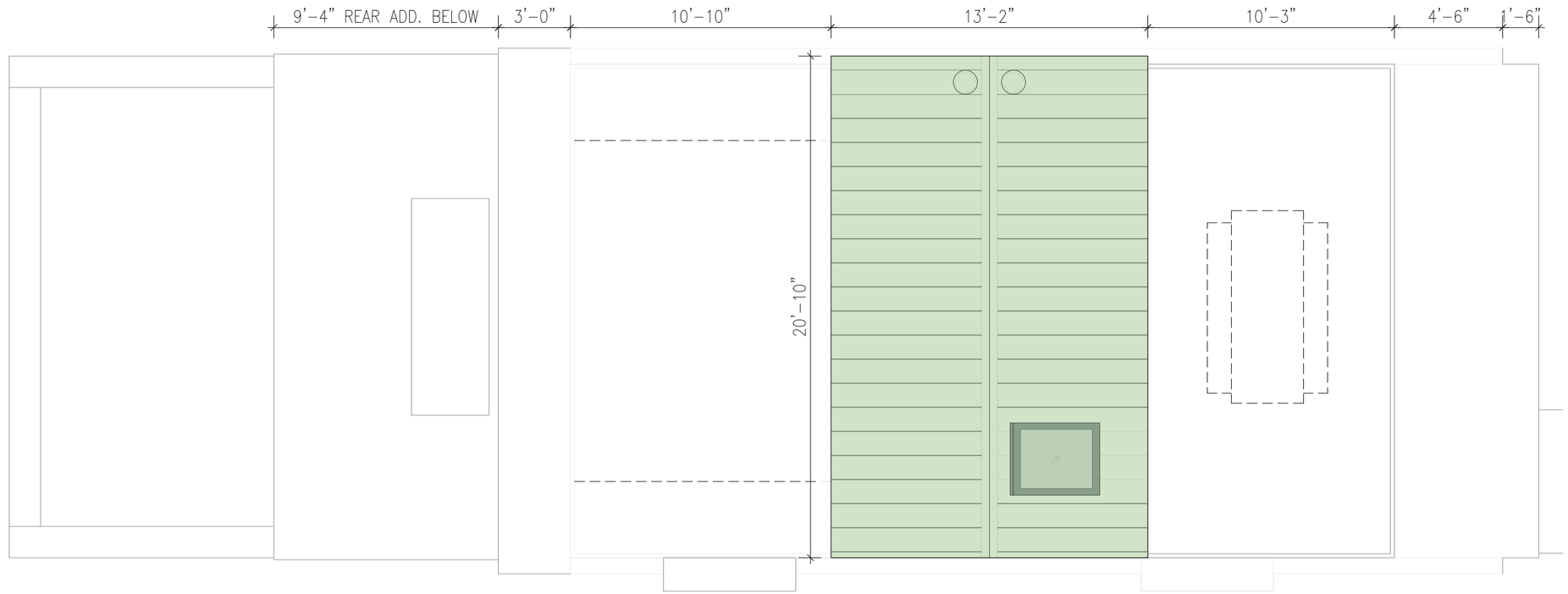
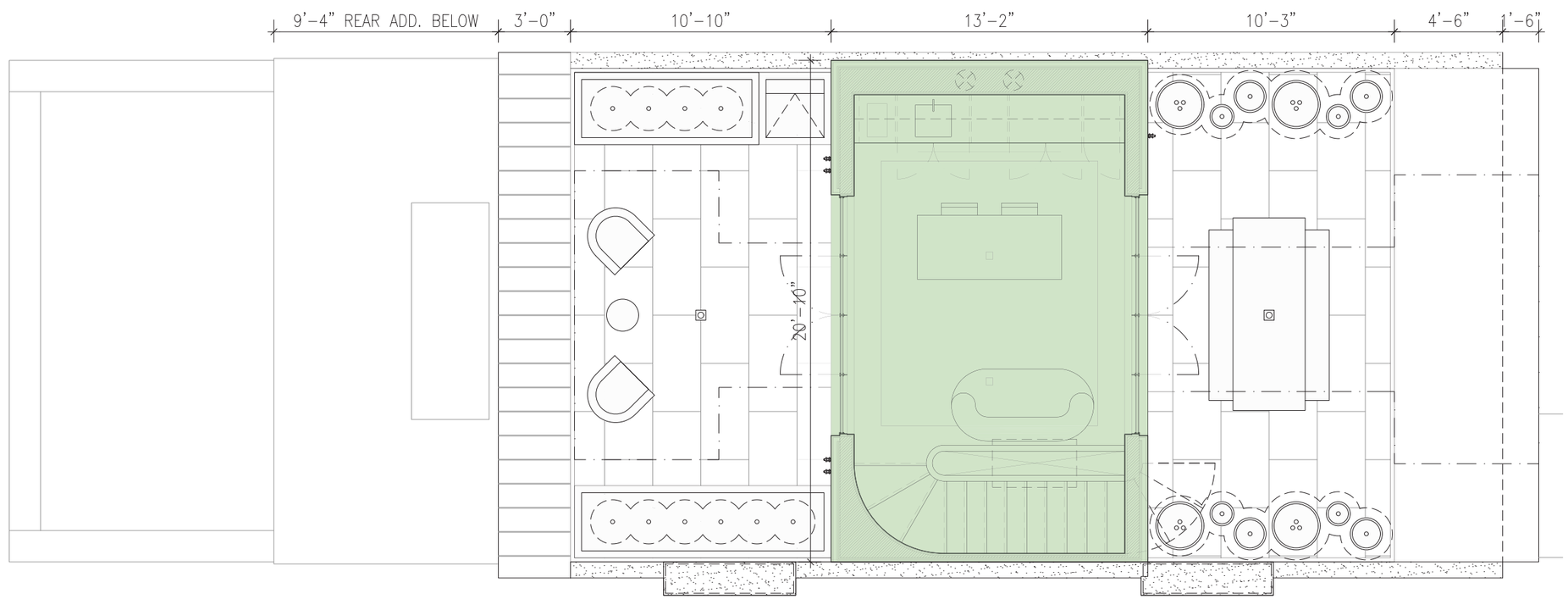
Bulkhead & Roof Plans

The proposed bulkhead conforms to zoning regulations and fire access path requirements.



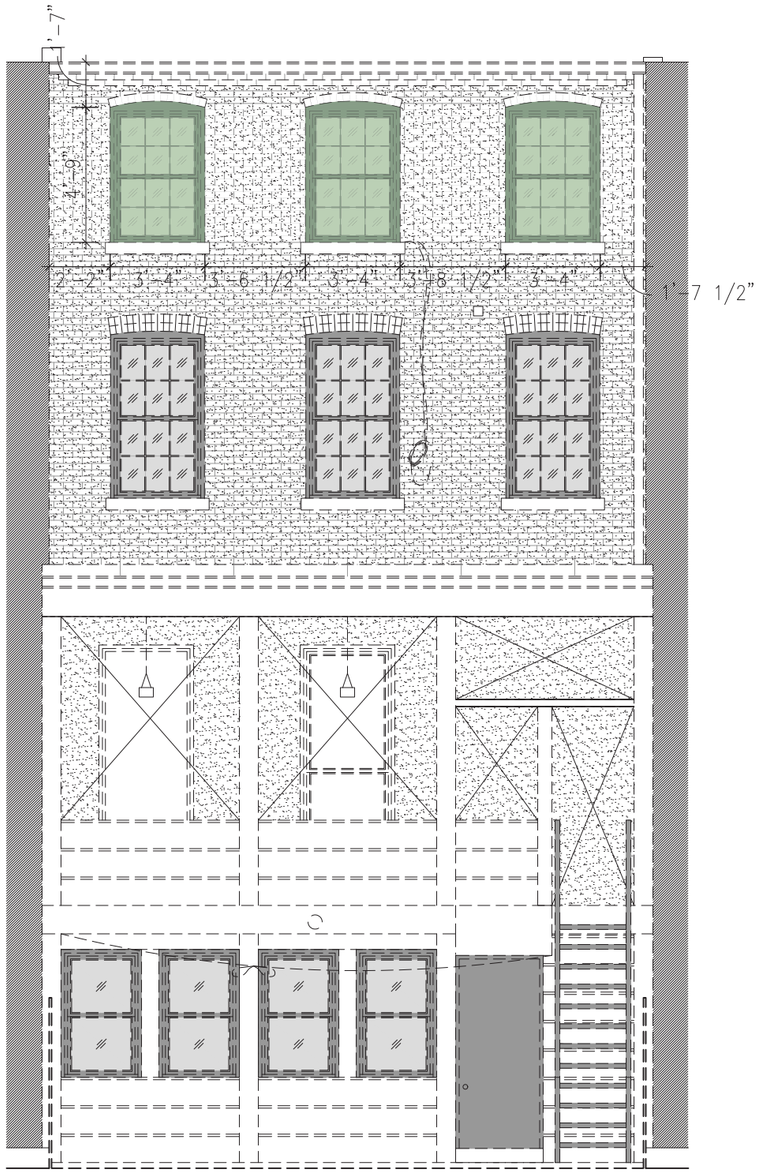
Proposed Roof Plan



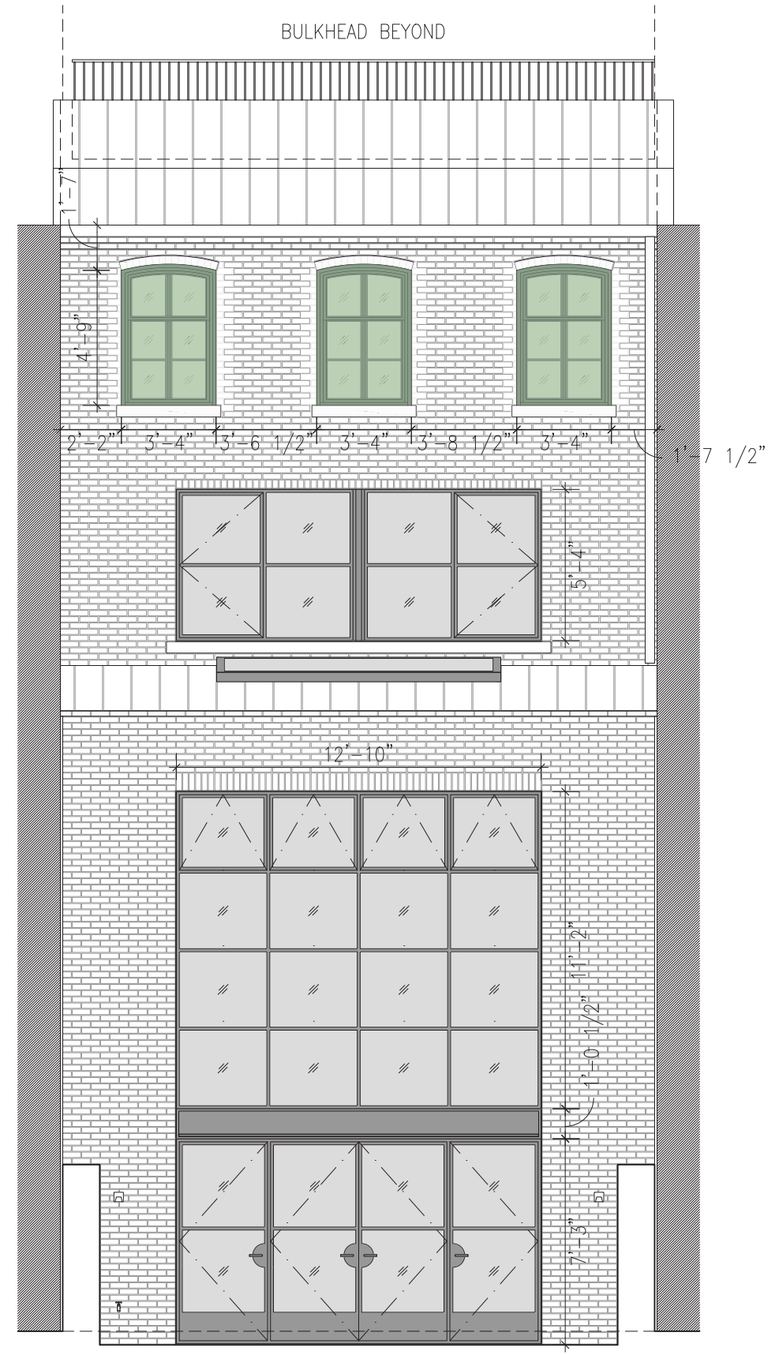
Proposed Bulkhead Plan

Rear Facade — Elevations

The third floor windows will be replaced in kind and in the existing locations.



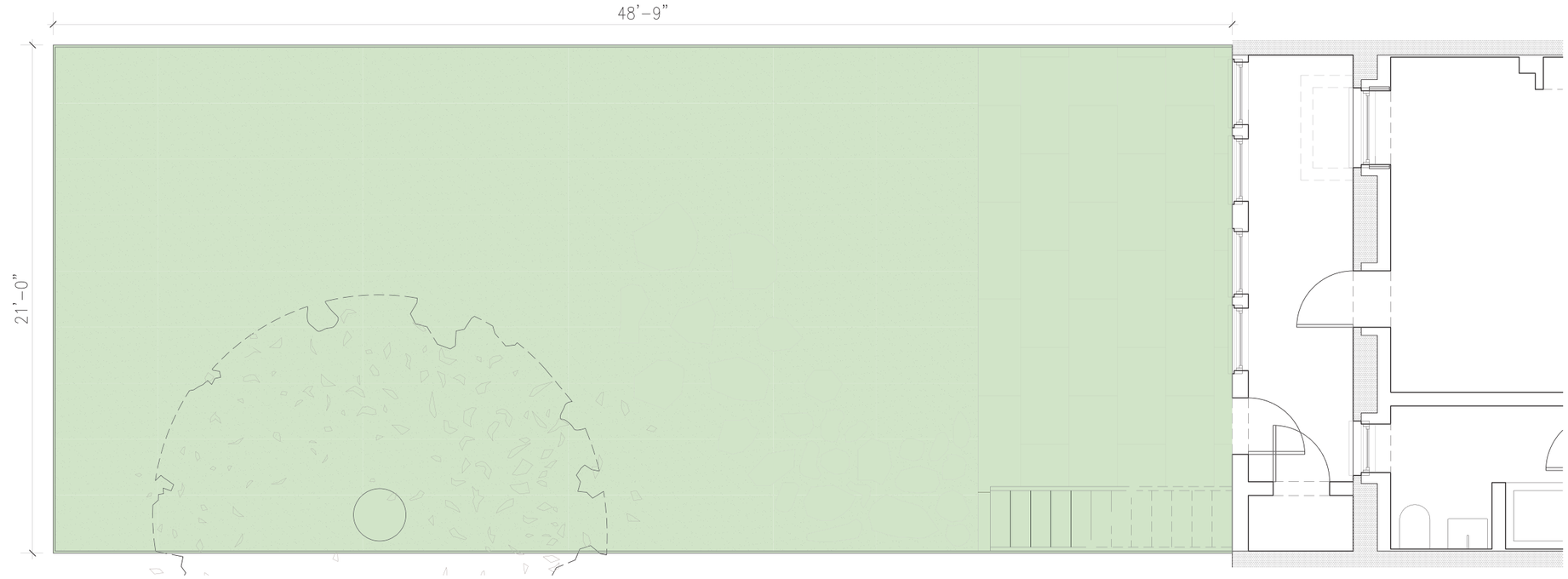
Existing



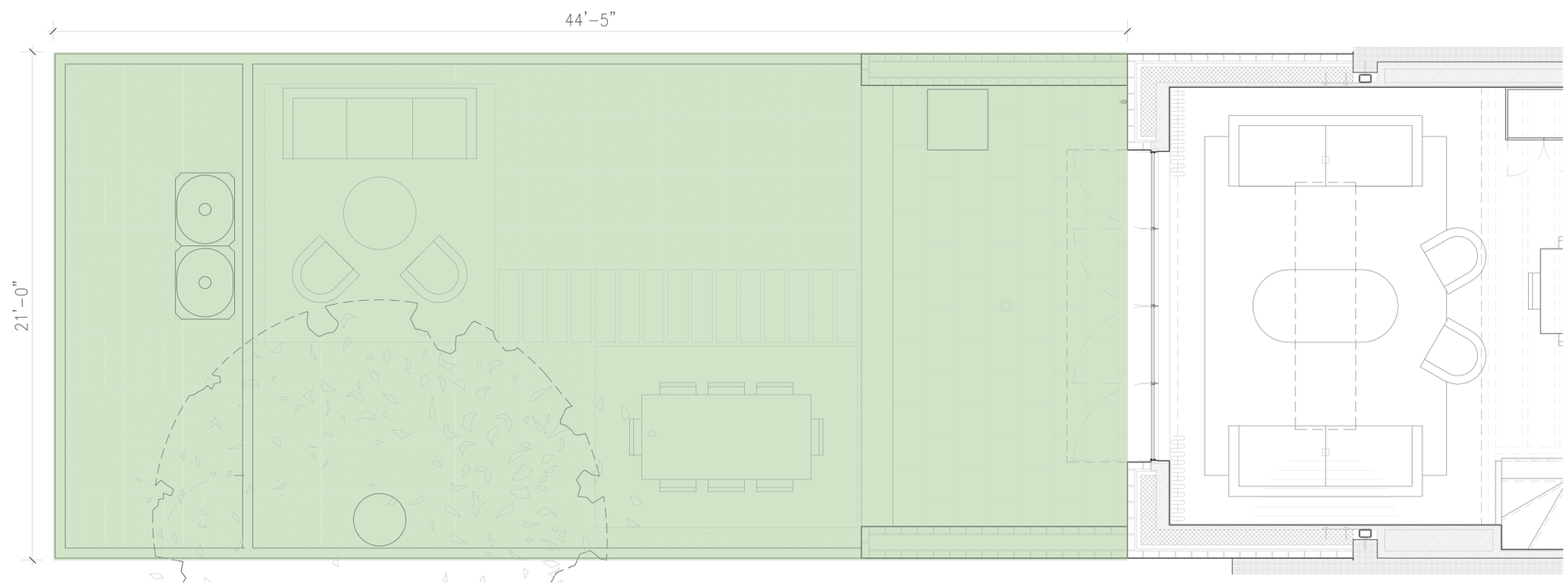
Proposed

Garden Level

The proposed rear addition has minimal impact on the green space within the doughnut of the block.



Existing Garden Level



Proposed Garden Level

Materiality — Rear Addition

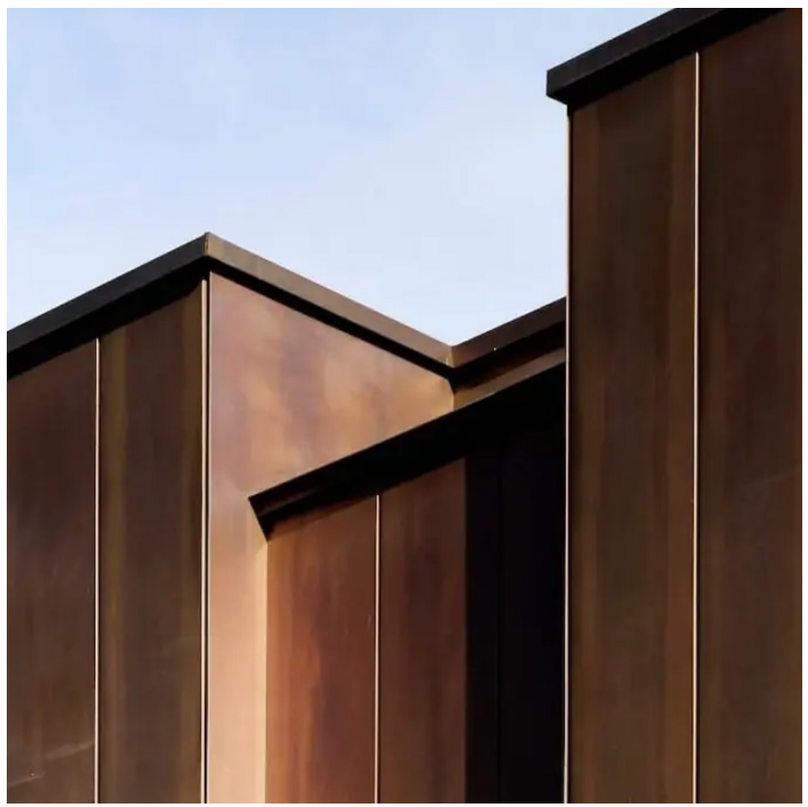
The proposed materials are in keeping with aesthetics of the historic building.

- Rear and Side Walls: Brick. Brick to be Redland Cushwa Brick #103 Georgian. This is a very close match to the original color and texture.
- Third Floor Windows: LePage. Color to be bronze.
- Gridded Windows: MHB. Color to be bronze.
- Glass: Color to be clear. PPG Solarban 60 Solar Control Low-E Glass.

Materiality — Bulkhead

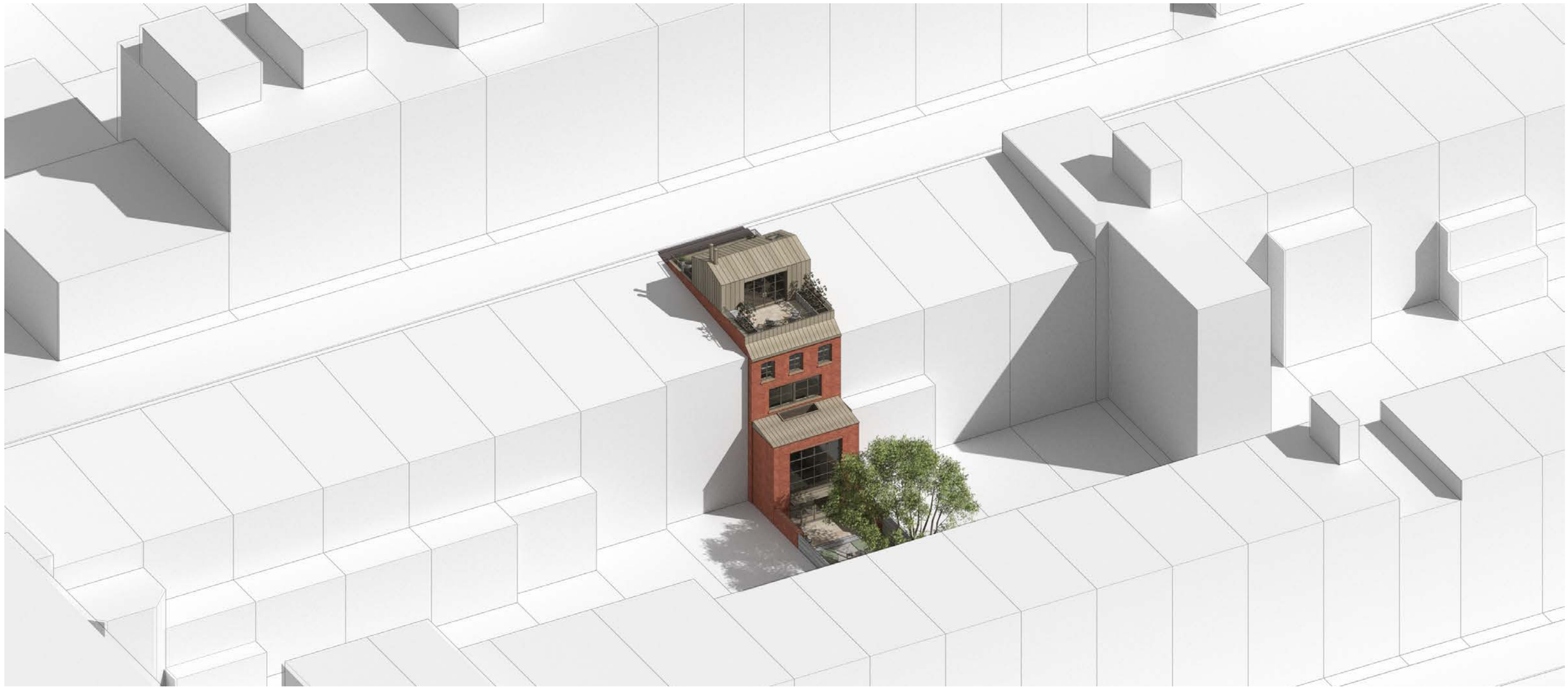
The proposed materials are in keeping with additions to historic buildings of this type and are tonally complimentary to the existing materials already present in the building.

- Cladding and Roof: Aged copper.
- Gridded Windows: MHB. Color to be bronze.
- Glass: Color to be clear. PPG Solarban 60 Solar Control Low-E Glass.



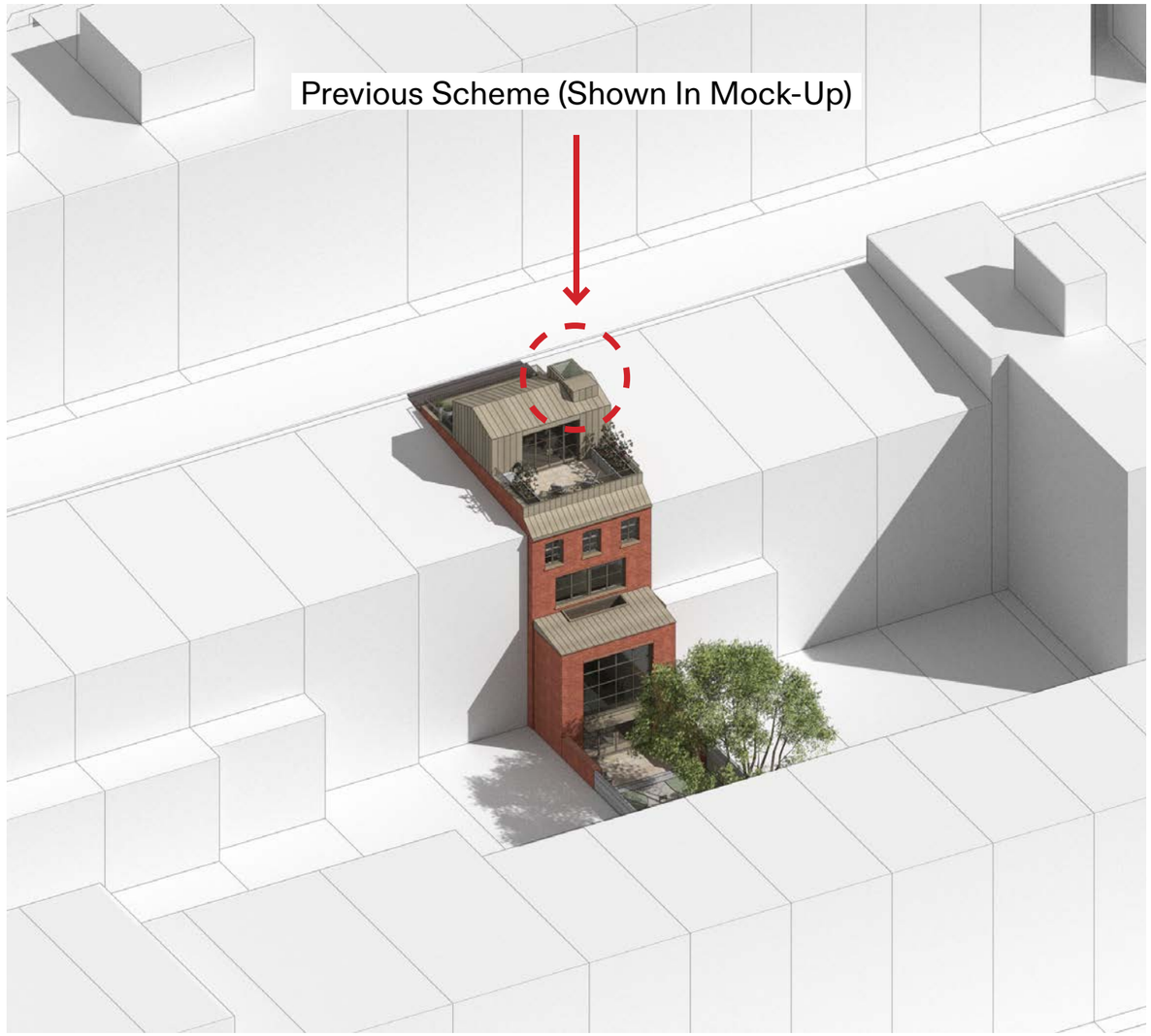
Axonometric Rendering

This axonometric view shows the proposed design within the context of the block.



Axonometric Rendering

The forthcoming mock-up images reflect an earlier bulkhead skylight scheme that we have revised in the interest of decreasing visibility.



Bulkhead Mock-Up

After completion of the mock-up we determined with LPC Staff that the rectangular skylight volume (dashed in white) will be removed from the design.

Image of mock-up, looking southwest.

Image of mock-up, looking northwest.

Bulkhead Mock-Up

Visualization with removed skylight volume and included chimney flues.

Visualization of mock-up, looking southwest, skylight volume removed.

Visualization of mock-up, looking northwest, skylight volume removed.

Bulkhead Mock-Up

LPC photographs of completed mock-up, including skylight volume.

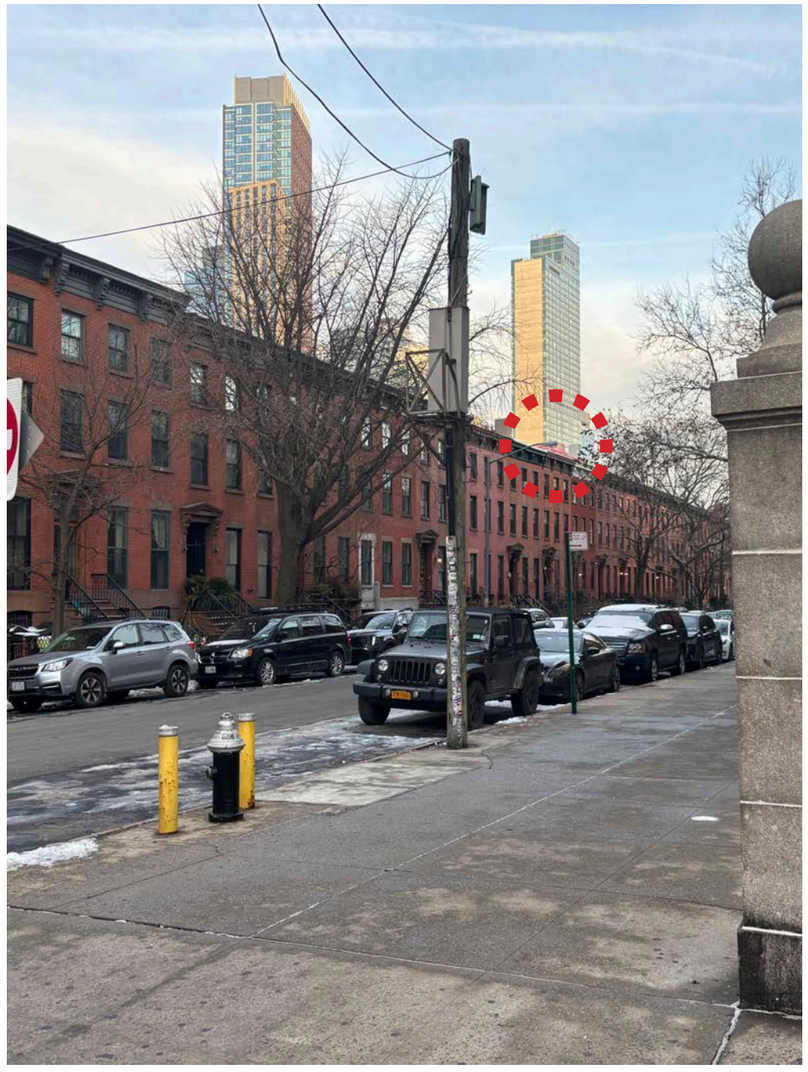


Image of 114 Fort Greene Place, looking northwest.

Image of 114 Fort Greene Place, looking west.

Image of 114 Fort Greene Place, looking southwest.

Bulkhead Mock-Up

Visualizations of LPC photographs of completed mock-up, skylight volume removed. The chimney flue will be minimally visible.

Visualization of 114 Fort Greene Place, looking northwest. Bulkhead is minimally visible.

Visualization of 114 Fort Greene Place, looking west. Bulkhead is not visible

Visualization of 114 Fort Greene Place, looking southwest. Bulkhead is not visible

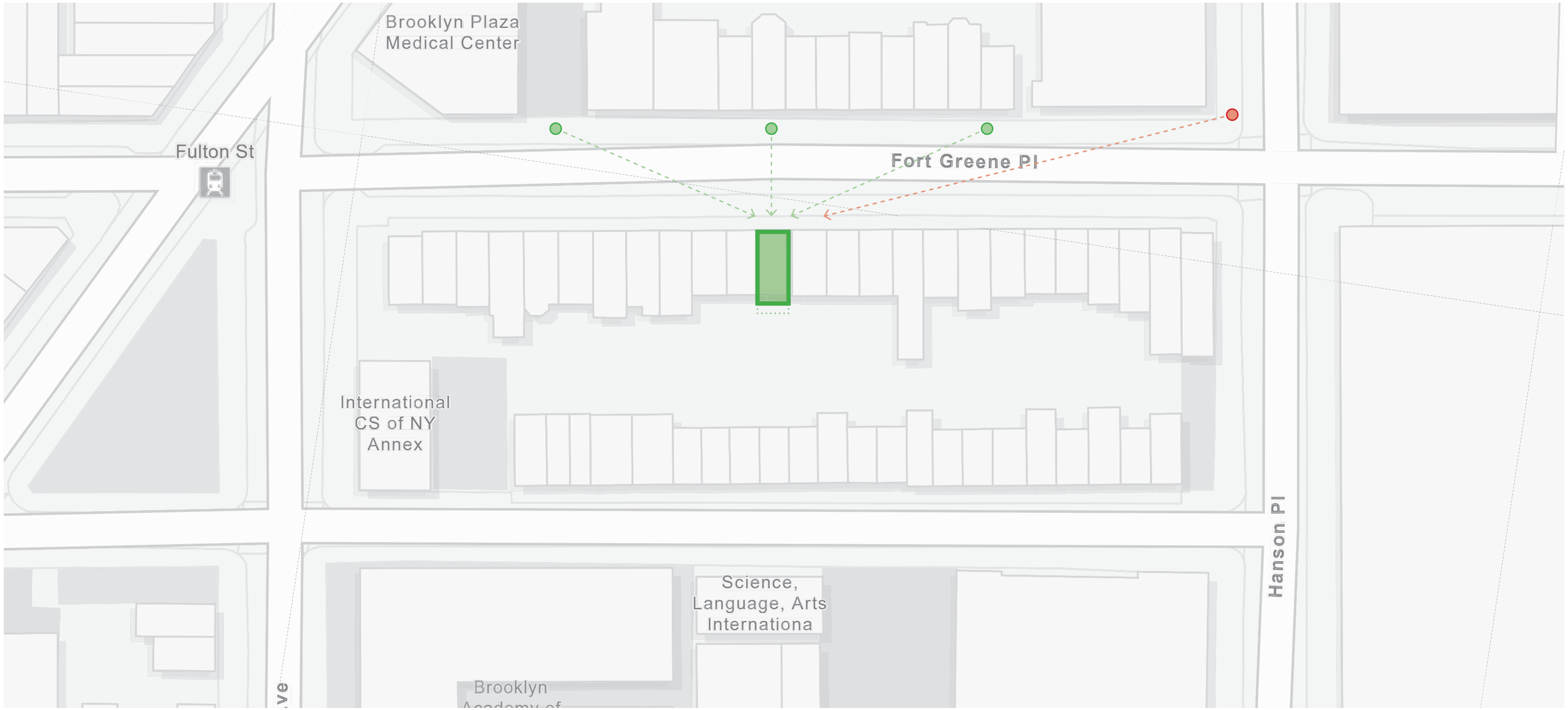
Bulkhead Mock-Up

Visualizations of LPC photographs of completed mock-up, skylight volume removed.

Visualization of 114 Fort Greene Place, looking northwest. Bulkhead is minimally visible.

Block Plan

As shown in previous images, the addition is not visible from across the street nor down the block, it is minimally visible from the far end of the block.
The flue will be minimally visible.



1940’s Tax ID Photograph

Thank You

Landmarks Preservation Commission

February 3, 2026
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-04358

114 Fort Greene Place – Brooklyn Academy of Music Historic District – Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 161 897 1031
Passcode: 399948
By Phone: 646-828-7666 (NY)
833-435-1820 (Toll-free)
833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

Appendix

Railing Mock-Up

LPC photographs of completed mock-up, including skylight volume.

Top of blue tape indicates top of 42” railing measured from finished surface of exterior terrace.

Railing will not visible from either far end of the block.

Railing will not be visible from across the street.

Example of Rebuilt Landmarked Rear Facade

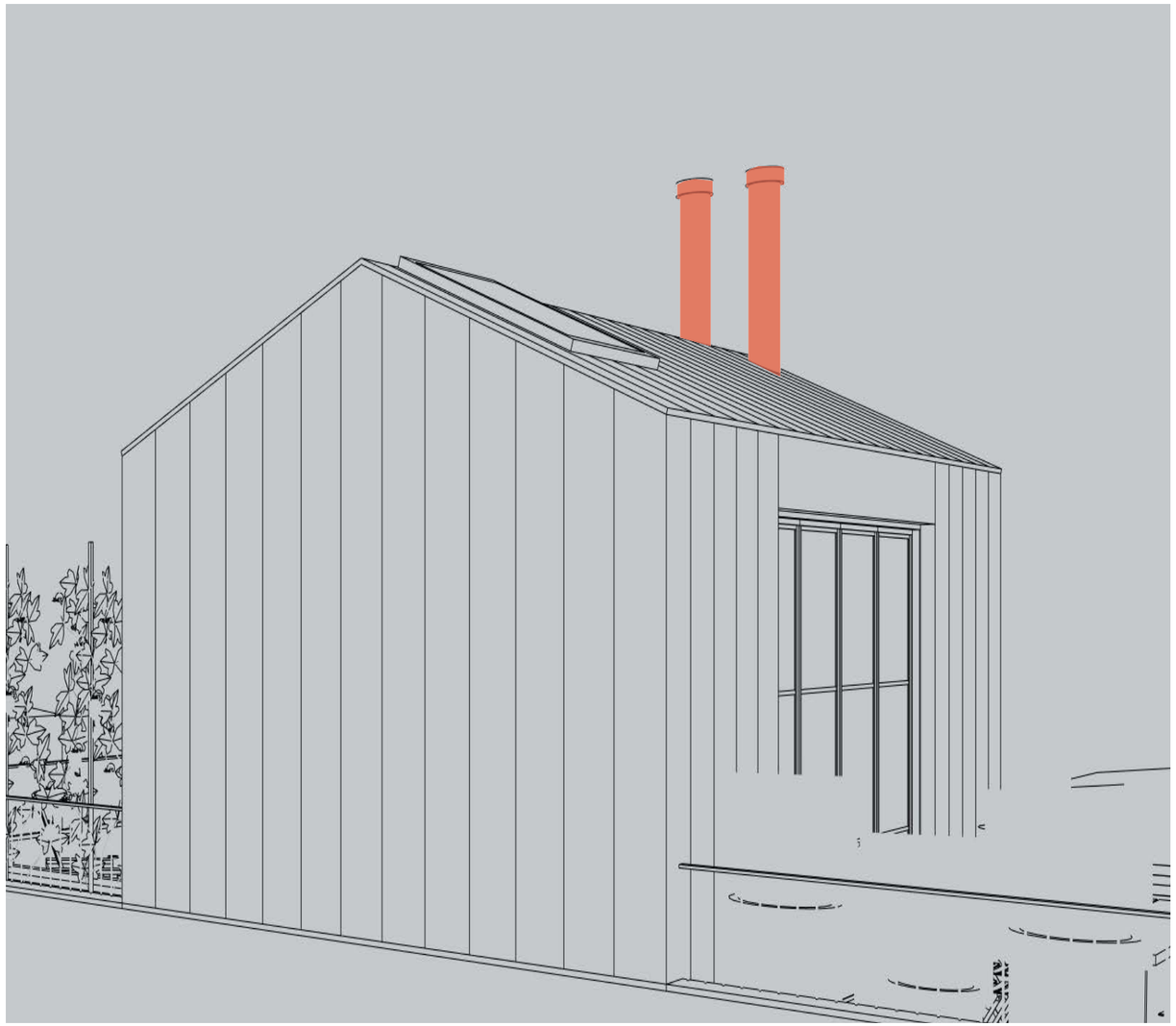
This is an example of a project we executed with the same contractor who will work on 114 Fort Greene Place.
The existing rear facade was in a similar condition to this project; it was rebuilt to match the two-story rear addition.

View of rear facade of our Boerum Hill Townhouse
(Landmarked).

Bulkhead Mock-Up

Confirmation of flue visualization, 3’ from top of ridge.

Visualization of mock-up, looking northwest.

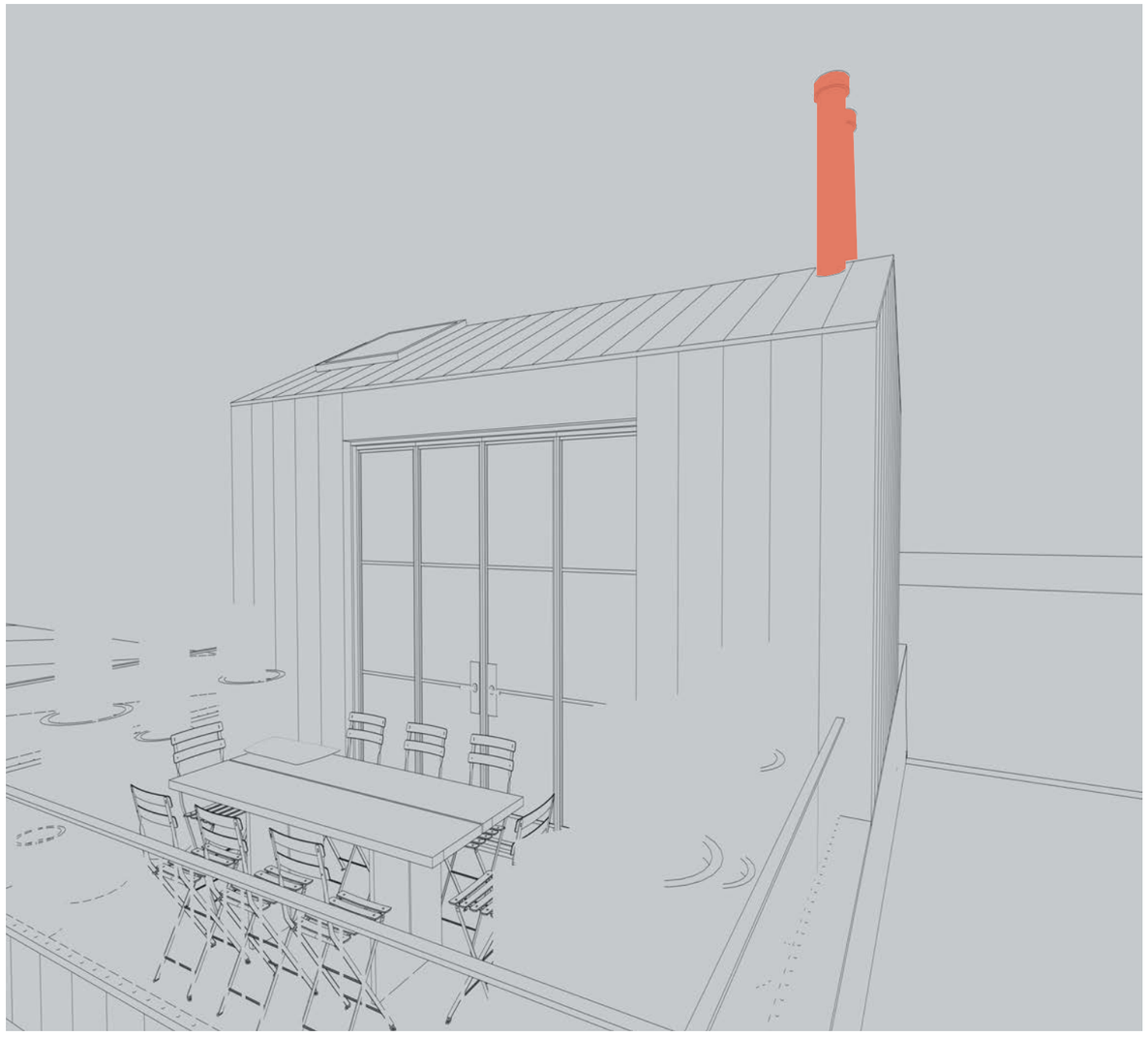


Visualization of project, looking northwest.

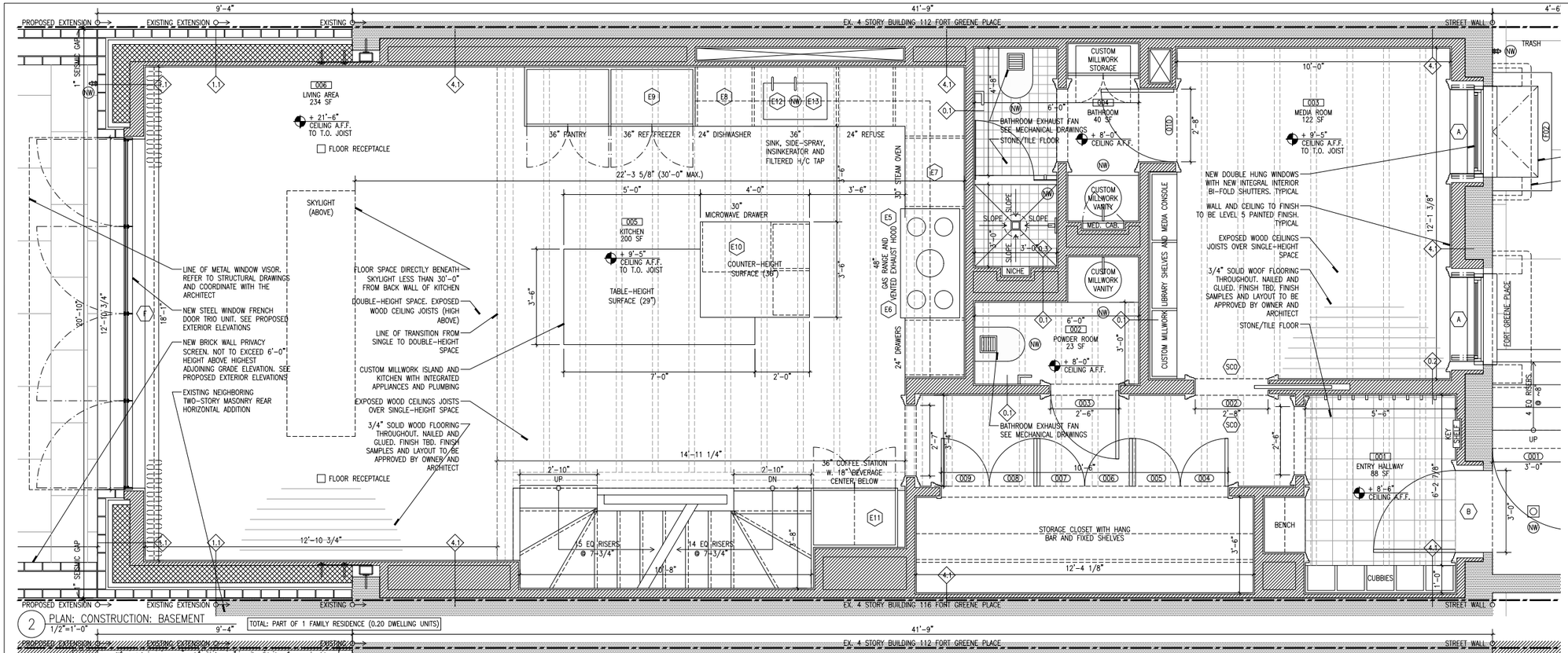
Bulkhead Mock-Up

Confirmation of flue visualization, 3’ from top of ridge.

Visualization of mock-up, looking southwest.

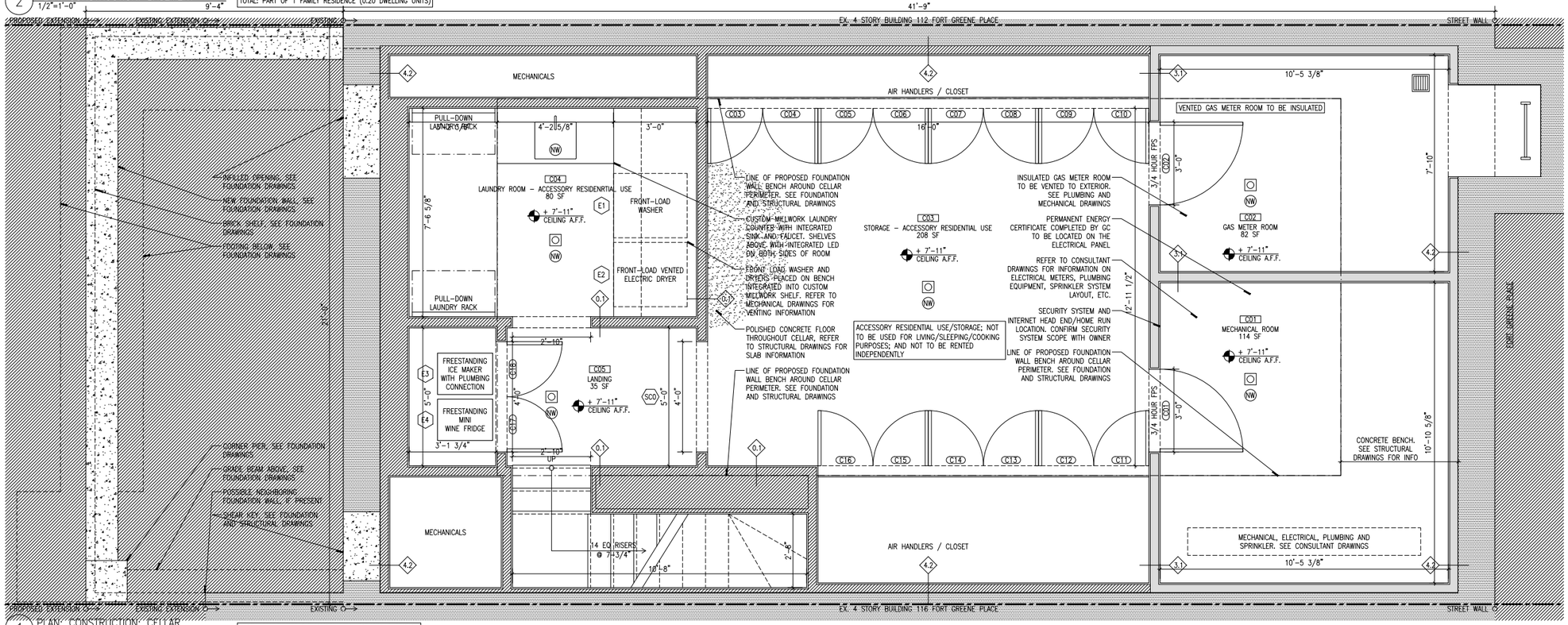


Visualization of project, looking southwest.



2 PLAN: CONSTRUCTION: BASEMENT
1/2"=1'-0"

TOTAL: PART OF 1 FAMILY RESIDENCE (0.20 DWELLING UNITS)



1 PLAN: CONSTRUCTION: CELLAR
1/2"=1'-0"

TOTAL: ACCESSORY RESIDENTIAL USE, STORAGE & METERS

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- NEW DOOR. SEE DOOR SCHEDULE. DOOR NUMBER. FLOOR NUMBER
- NEW WINDOW. SEE WINDOW SCHEDULE. WINDOW NUMBER. WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
- NW: NEW; NEW PLUMBING FIXTURE
- RP: REPLACE; NEW PLUMBING FIXTURE IN EXISTING LOCATION
- RL: RELOCATE; EXISTING FIXTURE IN NEW LOCATION
- NEW MILLWORK. SEE MILLWORK SCHEDULE
- REVISION NOTE
- EXTERIOR ELEVATION TAG: DRAWING NUMBER, SHEET NUMBER
- SECTION MARKER TAG: DRAWING NUMBER, SHEET NUMBER
- INTERIOR ELEVATION TAG: SHEET NUMBER, DRAWING NUMBER
- SECTION DETAIL TAG: DRAWING NUMBER, SHEET NUMBER
- DETAIL TAG: DRAWING/TRIM NUMBER, SHEET NUMBER
- +0'-0" ELEVATION TAG
- GRID LINE
- SCO: UL-LISTED COMBINATION HARD-WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

NATURAL LIGHT & VENTILATION TABLE BASEMENT

ROOM	NET AREA (SF)	REQ'D LIGHT (SF)	PROV LIGHT (SF)	REQ'D VENT. (SF)	PROV VENT. (SF)
MEDIA ROOM	122	12.2	19.2	6.1	11.8
KITCH./ LIVING	434	43.4	199.2	21.7	86.9

*ONLY PORTIONS OF WINDOWS 2'-6" OR MORE ABOVE FLOOR HAVE BEEN COUNTED FOR NATURAL LIGHT PURPOSES.
**AT KITCHEN / LIVING, ONLY PORTIONS OF WINDOWS 6" ABOVE REAR YARD ELEVATION HAVE BEEN COUNTED FOR NATURAL LIGHT PURPOSES.

LIVE LOADS

BASEMENT	40 PSF

OWNER
DANIELLE COSENTINO & ENRIQUE CASAFONT
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BRENT ALLEN BUCK, AIA
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- FOUNDATION DOB NOW JOB #: B01274153-S5
- CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REGISTERED ARCHITECT BRENT ALLEN BUCK 038879 STATE OF NEW YORK

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

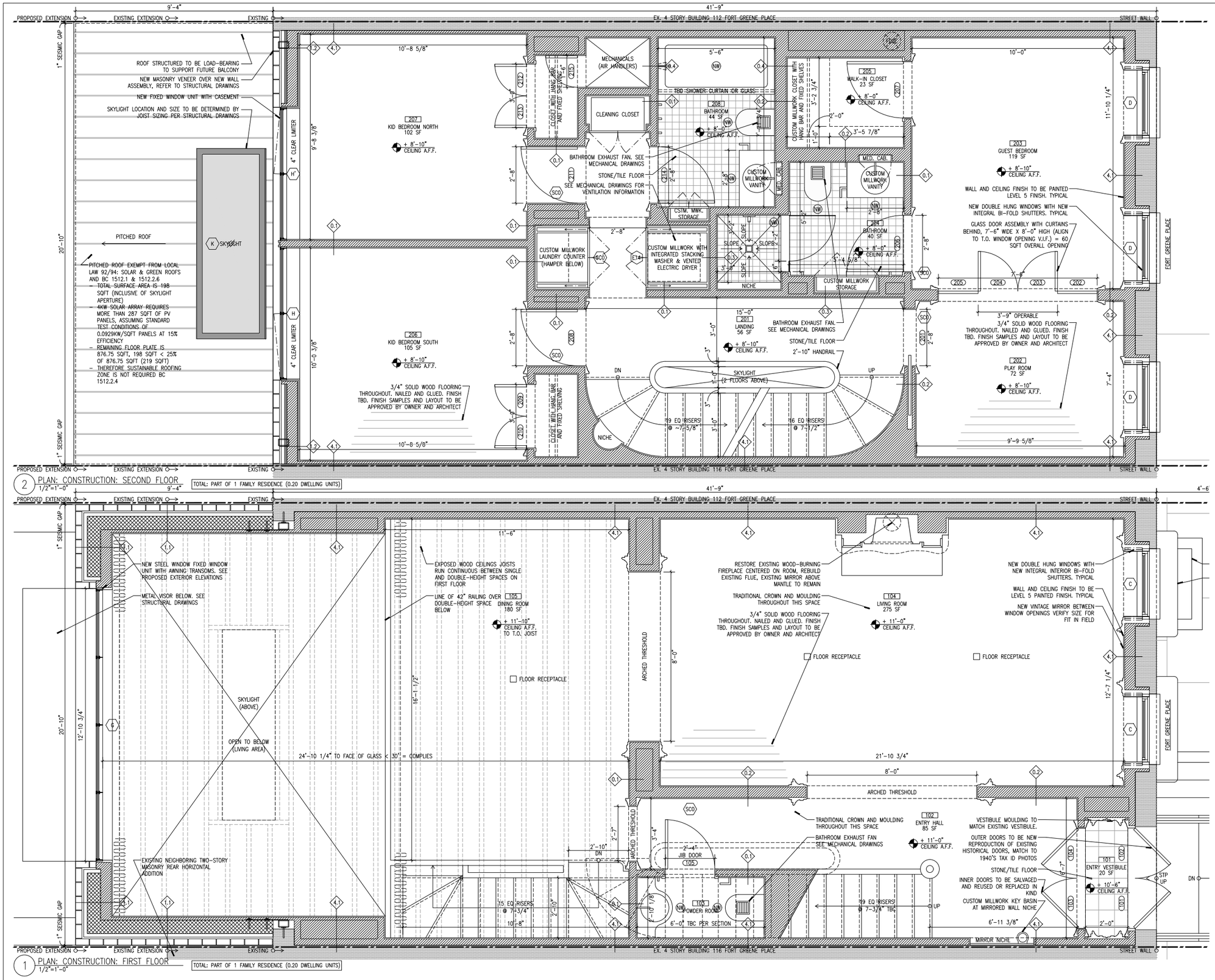
DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME
114 FORT GREENE PLACE
BROOKLYN, NY 11217

PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE
PLAN: CONSTRUCTION
CELLAR AND BASEMENT FLOORS

SHEET NUMBER
A-101.00



2 PLAN: CONSTRUCTION: SECOND FLOOR
1/2"=1'-0"

TOTAL: PART OF 1 FAMILY RESIDENCE (0.20 DWELLING UNITS)

1 PLAN: CONSTRUCTION: FIRST FLOOR
1/2"=1'-0"

TOTAL: PART OF 1 FAMILY RESIDENCE (0.20 DWELLING UNITS)

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
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- SECTION DETAIL TAG (DRAWING NUMBER, SHEET NUMBER)
- DETAIL TAG (DRAWING/TRIM NUMBER, SHEET NUMBER)
- +0'-0" ELEVATION TAG
- GRID LINE
- UL-LISTED COMBINATION (HEAT, WHOLE), AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

NATURAL LIGHT & VENTILATION TABLE 2ND FLOOR

ROOM	NET AREA (SF)	REQ'D LIGHT (SF)	PROV LIGHT (SF)	REQ'D VENT. (SF)	PROV VENT. (SF)
PLAY ROOM	72	7.2	7.5	3.6	7.9
GUEST BDRM.	119	11.9	15	6.0	15.8
KID BDRM S.	105	10.5	29.5	5.3	15.1
KID BDRM N.	102	10.2	29.5	5.1	15.1

NATURAL LIGHT & VENTILATION TABLE 1ST FLOOR

ROOM	NET AREA (SF)	REQ'D LIGHT (SF)	PROV LIGHT (SF)	REQ'D VENT. (SF)	PROV VENT. (SF)
LIVING ROOM	275	27.5	38.4	13.6	19.8
DINING ROOM	180	18.5	127.1	9.3	32.7

*ONLY PORTIONS OF WINDOWS 2'-6" OR MORE ABOVE FLOOR HAVE BEEN COUNTED FOR NATURAL LIGHT PURPOSES.

LIVE LOADS

FIRST FLOOR	40 PSF
SECOND FLOOR	40 PSF

OWNER

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- STRUCTURAL DOB NOW JOB #: B01274153-S4
- FOUNDATION DOB NOW JOB #: B01274153-S5
- CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

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REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

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B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

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BROOKLYN, NY 11217

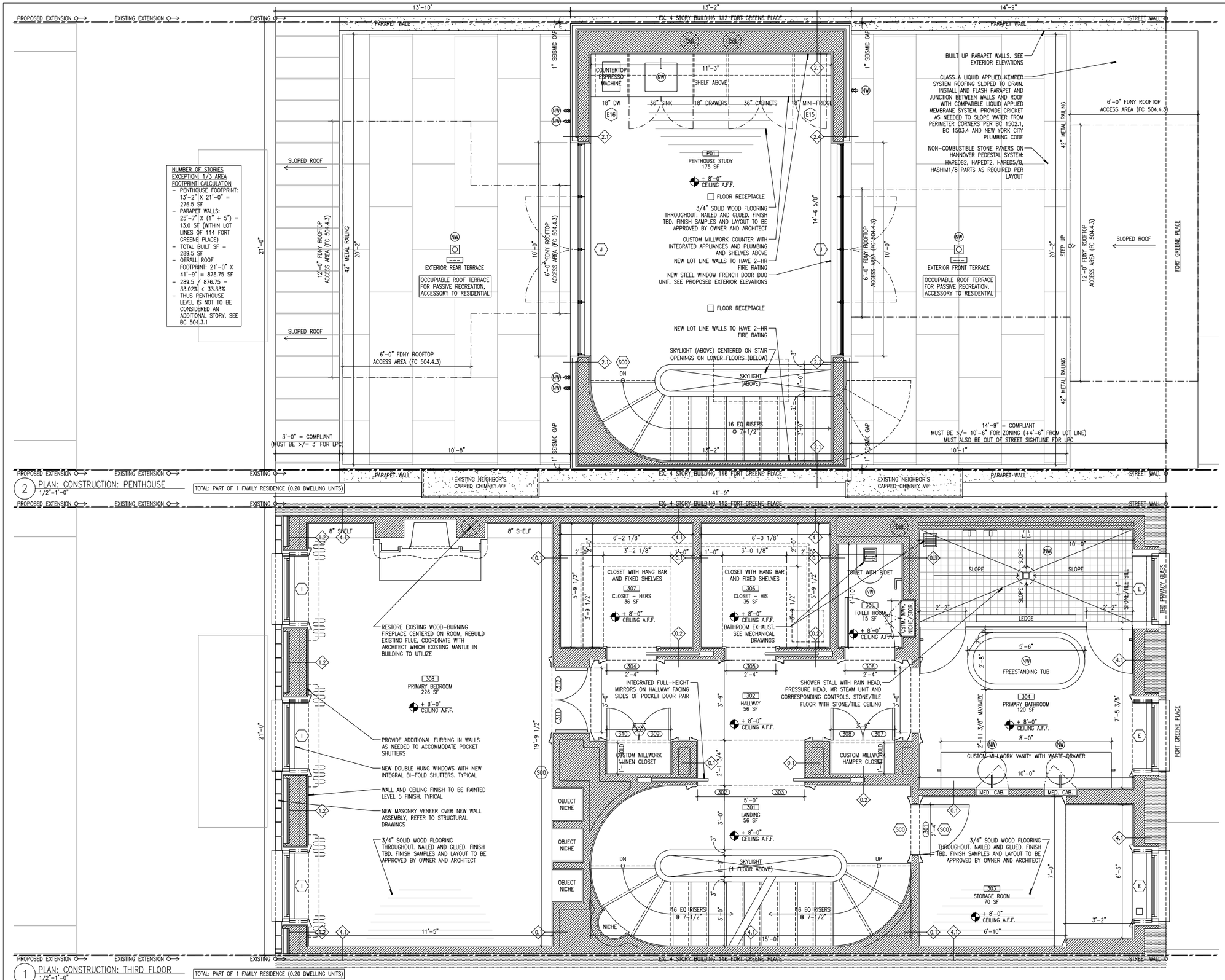
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

PLAN: CONSTRUCTION
FIRST AND SECOND FLOORS

SHEET NUMBER

A-102.00



2 PLAN: CONSTRUCTION: PENTHOUSE
1/2"=1'-0"

1 PLAN: CONSTRUCTION: THIRD FLOOR
1/2"=1'-0"

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
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- NEW WINDOW. SEE WINDOW SCHEDULE. WINDOW NUMBER. WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
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- NEW MILLWORK. SEE MILLWORK SCHEDULE
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- DETAIL TAG (DRAWING/TRIM NUMBER, SHEET NUMBER)
- +0'-0" ELEVATION TAG
- GRID LINE
- UL-LISTED COMBINATION HARD-WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

NATURAL LIGHT & VENTILATION TABLE THIRD FLOOR

ROOM	NET AREA (SF)	REQ'D LIGHT (SF)	PROV LIGHT (SF)	REQ'D VENT. (SF)	PROV VENT. (SF)
P.H. OFFICE	175	17.5	90.6	8.6	71.4

NATURAL LIGHT & VENTILATION TABLE PENTHOUSE

ROOM	NET AREA (SF)	REQ'D LIGHT (SF)	PROV LIGHT (SF)	REQ'D VENT. (SF)	PROV VENT. (SF)
PRIM. BATH.	120	12.0	14.6	6.0	9.0
PRIM. BDRM	226	22.6	22.8	11.3	13.5

*ONLY PORTIONS OF WINDOWS 2'-6" OR MORE ABOVE FLOOR HAVE BEEN COUNTED FOR NATURAL LIGHT PURPOSES.

LIVE LOADS

THIRD FLOOR	40 PSF
PENTHOUSE	40 PSF

OWNER

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- STRUCTURAL DOB NOW JOB #: B01274153-S4
- FOUNDATION DOB NOW JOB #: B01274153-S5
- CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REGISTERED ARCHITECT BRENT ALLEN BUCK 038879 STATE OF NEW YORK

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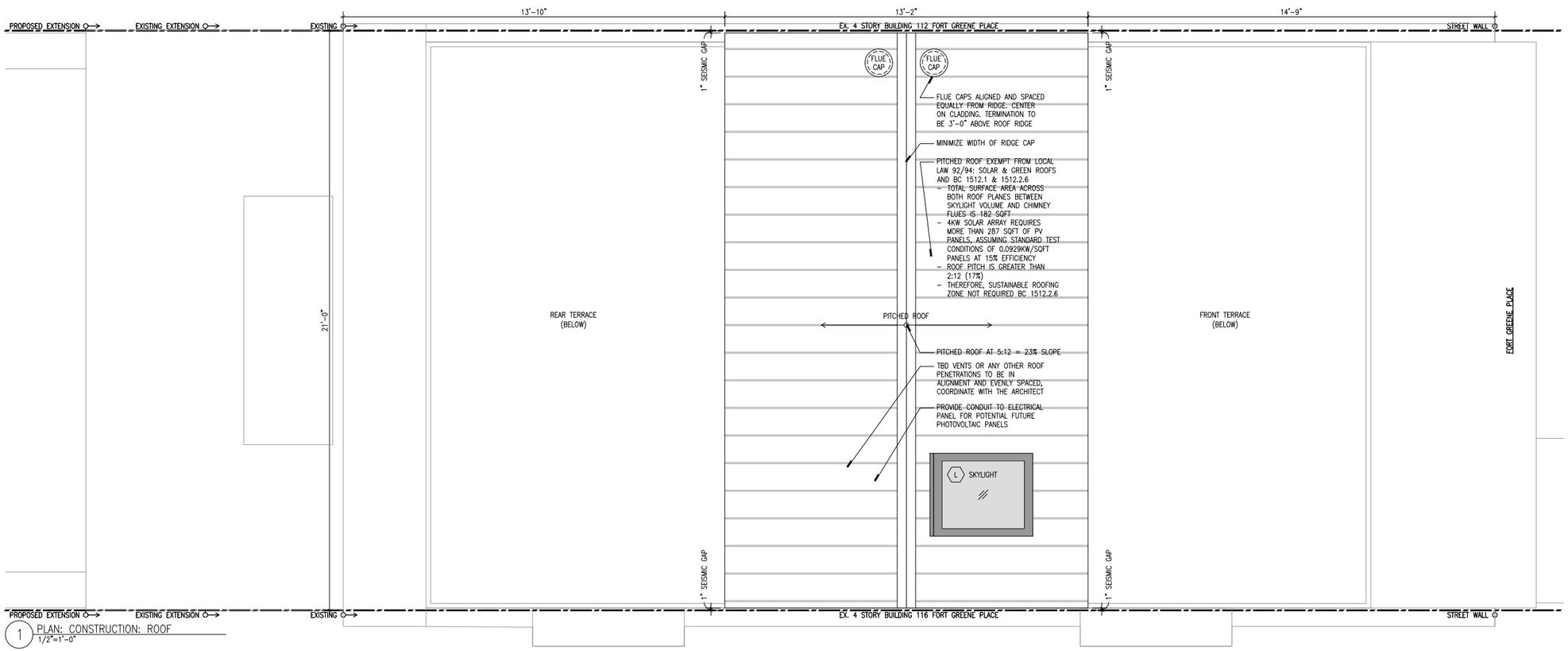
SHEET TITLE

PLAN: CONSTRUCTION THIRD AND PENTHOUSE FLOOR

SHEET NUMBER

A-103.00



1 PLAN: CONSTRUCTION: ROOF
1/2"=1'-0"

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- 0 NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- 1 NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- 2 NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- 3 NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- 4 EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- 701 NEW DOOR. SEE DOOR SCHEDULE DOOR NUMBER FLOOR NUMBER
- A1 NEW WINDOW. SEE WINDOW SCHEDULE WINDOW NUMBER WINDOW TYPE
- E1 NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- Q NW NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
  - NW NEW: NEW PLUMBING FIXTURE
  - RP REPLACE: NEW PLUMBING FIXTURE IN EXISTING LOCATION
  - RL RELOCATE: EXISTING FIXTURE IN NEW LOCATION
- 1 NEW MILLWORK. SEE MILLWORK SCHEDULE
- 1 REVISION NOTE
- 1 A100 EXTERIOR ELEVATION TAG — DRAWING NUMBER, SHEET NUMBER
- 1 A100 SECTION MARKER TAG — DRAWING NUMBER, SHEET NUMBER
- 4 A100 1 2 3 INTERIOR ELEVATION TAG — SHEET NUMBER, DRAWING NUMBER
- 1 A100 SECTION DETAIL TAG — DRAWING NUMBER, SHEET NUMBER
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- A GRID LINE
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OWNER

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FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6

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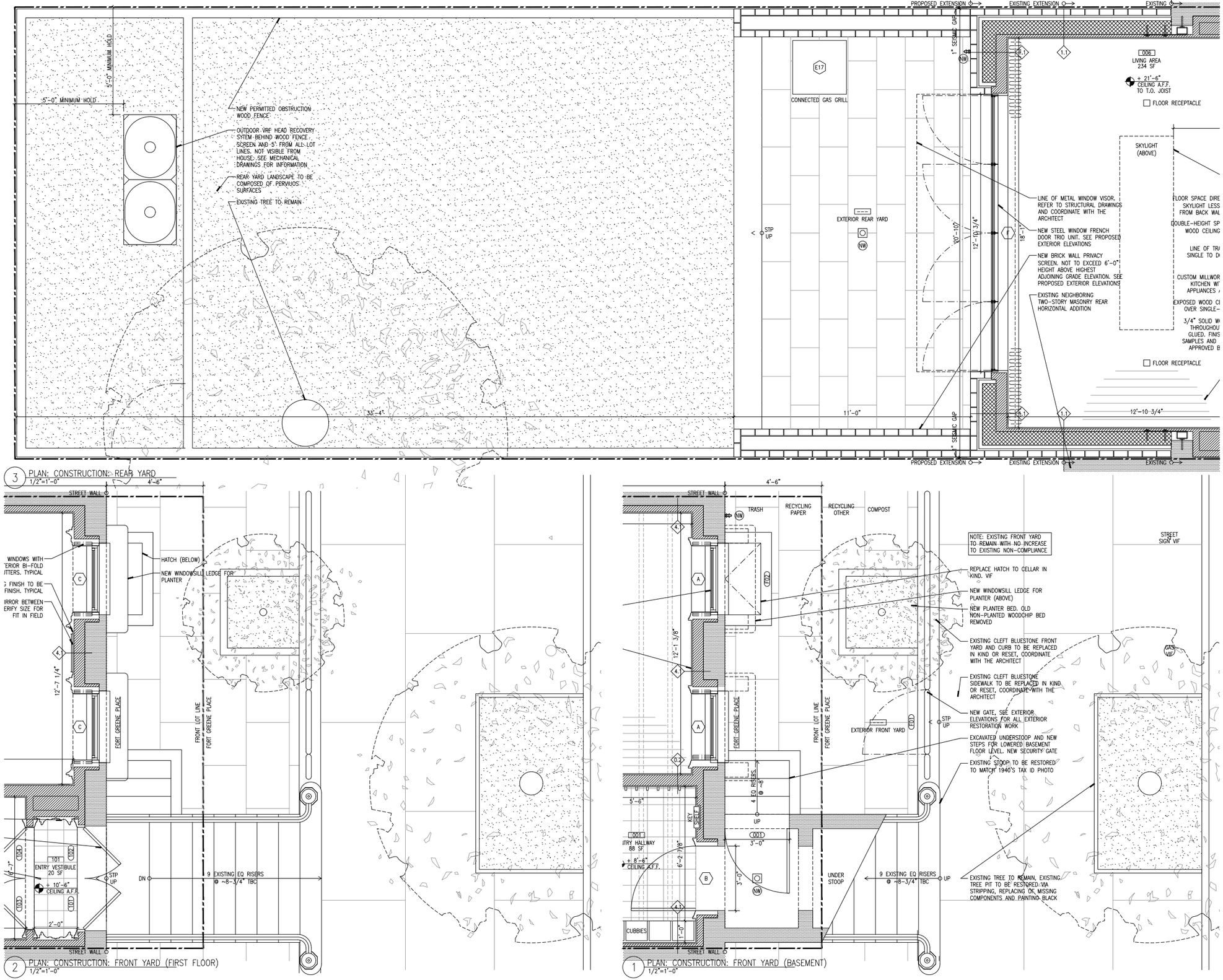
PLAN: CONSTRUCTION ROOF

SHEET NUMBER

A-104.00



CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- NEW DOOR. SEE DOOR SCHEDULE. DOOR NUMBER. FLOOR NUMBER
- NEW WINDOW. SEE WINDOW SCHEDULE. WINDOW NUMBER. WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
  - NW: NEW: NEW PLUMBING FIXTURE
  - RP: REPLACE: NEW PLUMBING FIXTURE IN EXISTING LOCATION
  - RL: RELOCATE: EXISTING FIXTURE IN NEW LOCATION
- NEW MILLWORK. SEE MILLWORK SCHEDULE
- REVISION NOTE
- EXTERIOR ELEVATION TAG. DRAWING NUMBER. SHEET NUMBER
- SECTION MARKER TAG. DRAWING NUMBER. SHEET NUMBER
- INTERIOR ELEVATION TAG. SHEET NUMBER. DRAWING NUMBER
- SECTION DETAIL TAG. DRAWING NUMBER. SHEET NUMBER
- DETAIL TAG. DRAWING/TRIM NUMBER. SHEET NUMBER
- +0'-0" ELEVATION TAG
- GRID LINE
- SCO: UL-LISTED COMBINATION HARD-WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

OWNER

DANIELLE COSENTINO & ENRIQUE CASAFONT
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NYS RA LIC #038879

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LIST OF SEPARATE APPLICATIONS

- MECHANICAL DOB NOW JOB #: B01274153-S1
- PLUMBING DOB NOW JOB #: B01274153-S2
- SPRINKLER DOB NOW JOB #: B01274153-S3
- STRUCTURAL DOB NOW JOB #: B01274153-S4
- FOUNDATION DOB NOW JOB #: B01274153-S5
- CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REGISTERED ARCHITECT BRENT ALLEN BUCK 038879 STATE OF NEW YORK

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

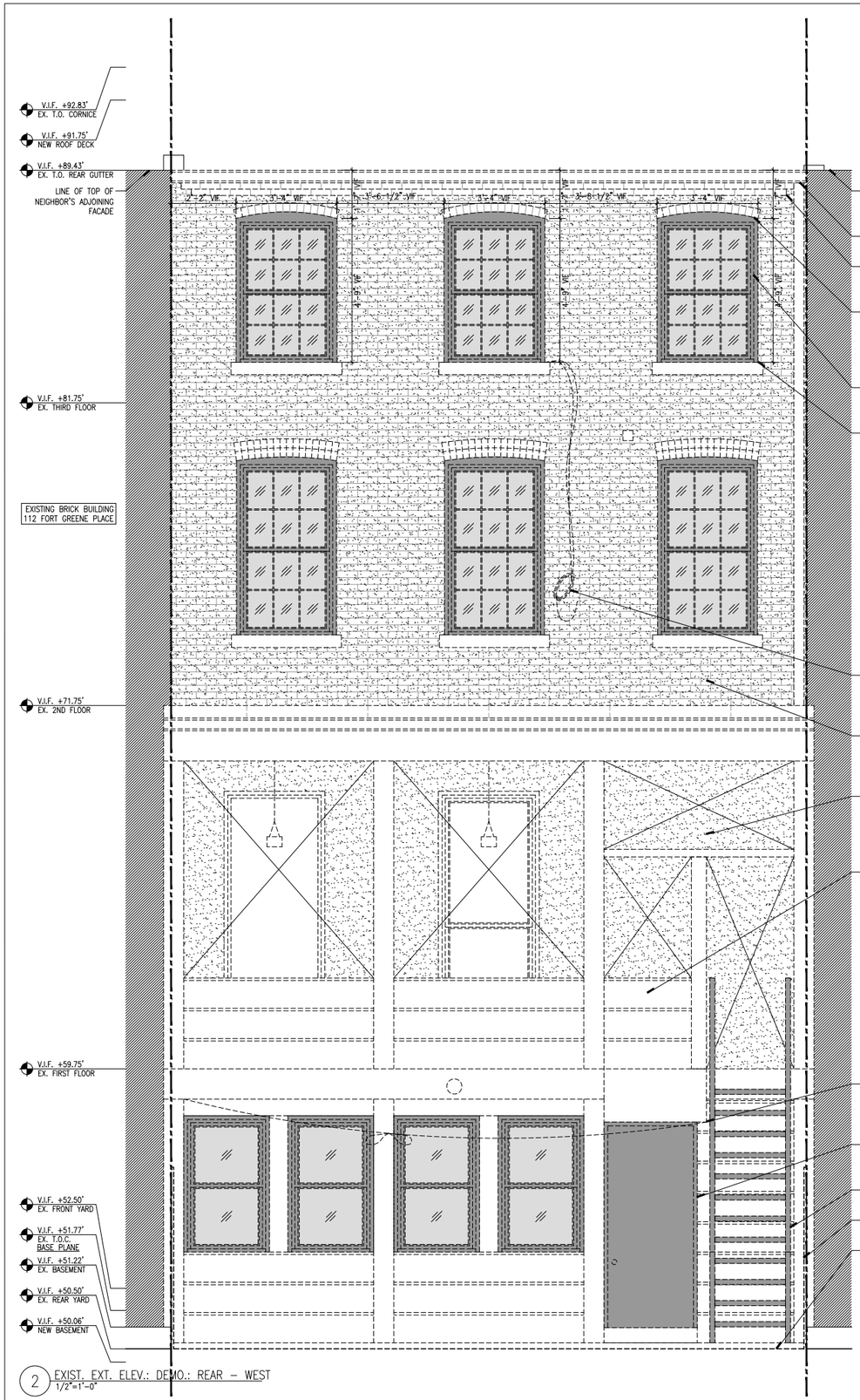
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

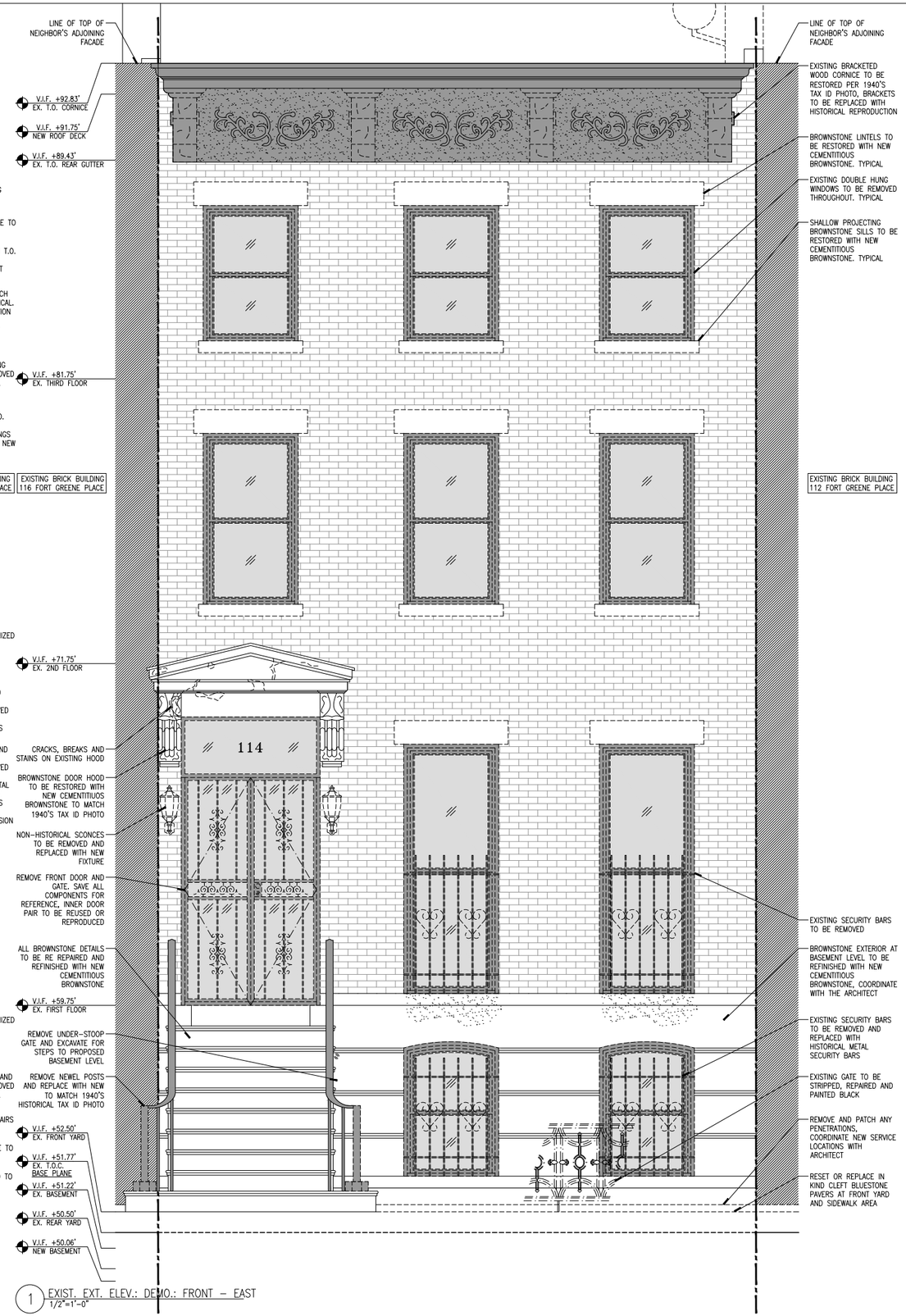
PLAN: CONSTRUCTION
FRONT AND REAR YARDS

SHEET NUMBER

A-105.00



2 EXIST. EXT. ELEV.: DEMO.: REAR – WEST
1/2"=1'-0"



1 EXIST. EXT. ELEV.: DEMO.: FRONT – EAST
1/2"=1'-0"

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NYS RA LIC #038879

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STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

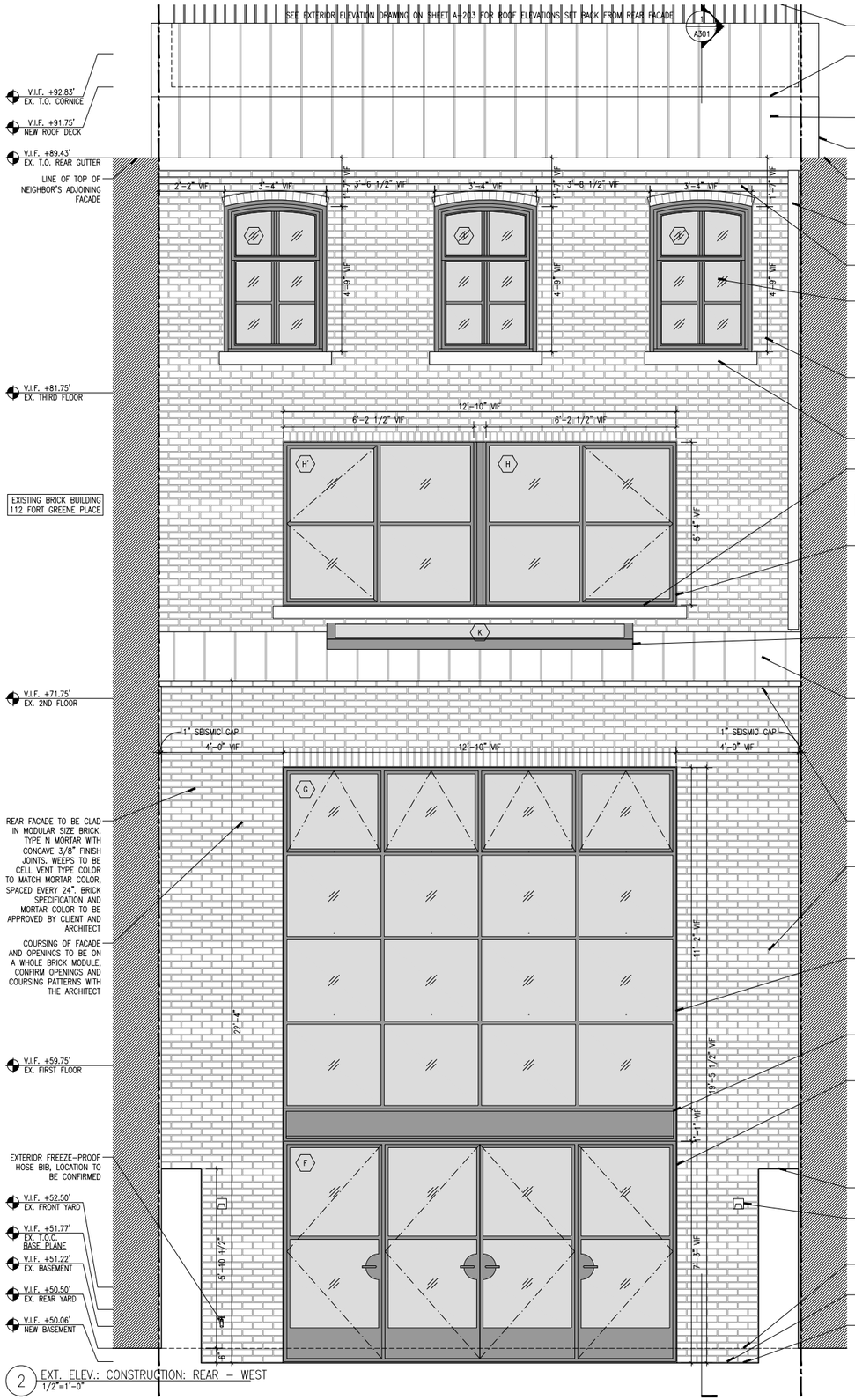
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

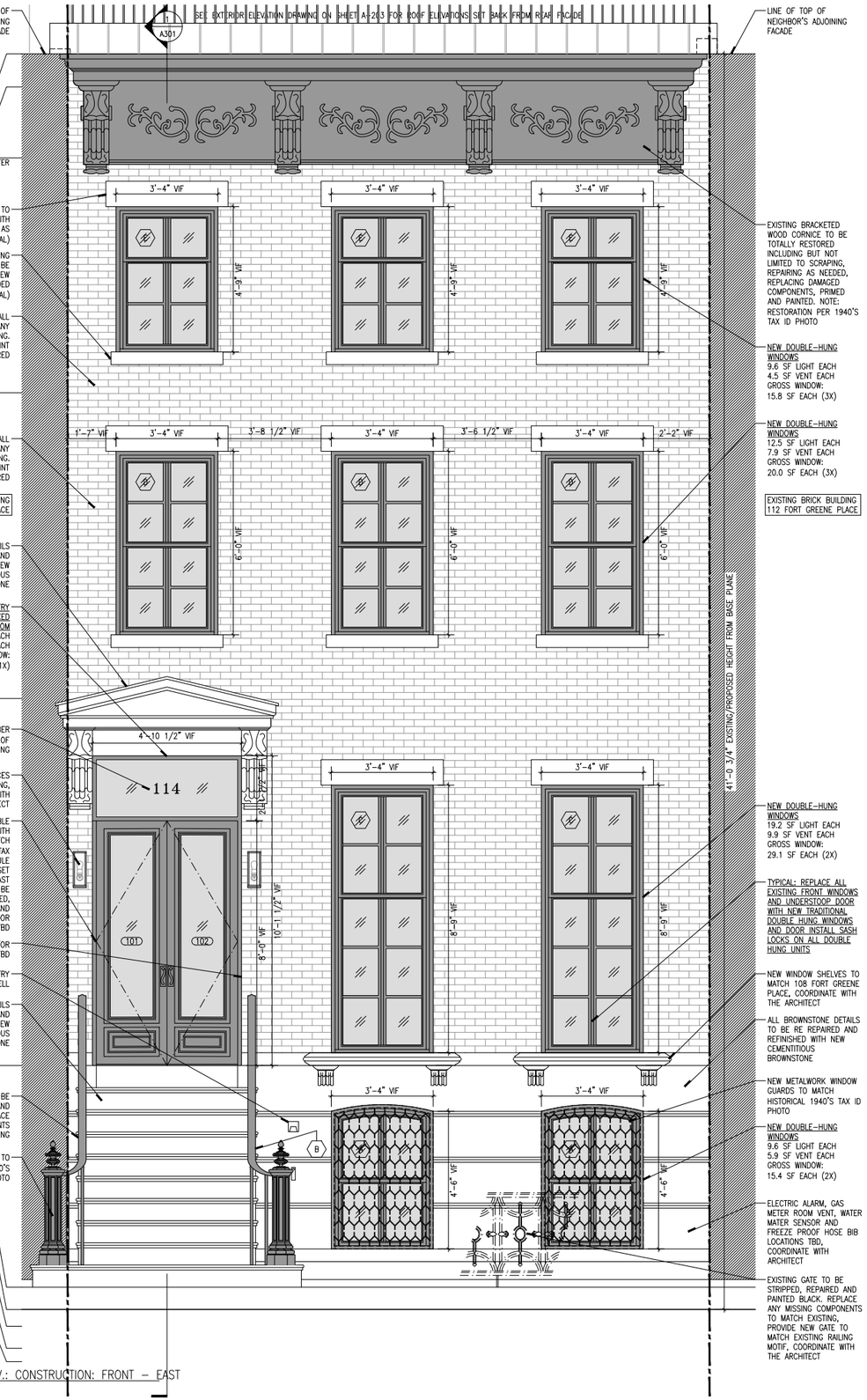
EXISTING EXTERIOR ELEVATIONS: DEMOLITION FRONT & REAR

SHEET NUMBER

A-201.00



2 EXT. ELEV.: CONSTRUCTION: REAR – WEST
1/2"=1'-0"



1 EXT. ELEV.: CONSTRUCTION: FRONT – EAST
1/2"=1'-0"

OWNER

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STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REGISTERED ARCHITECT
BRENT ALLEN BUCK
038879
STATE OF NEW YORK

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

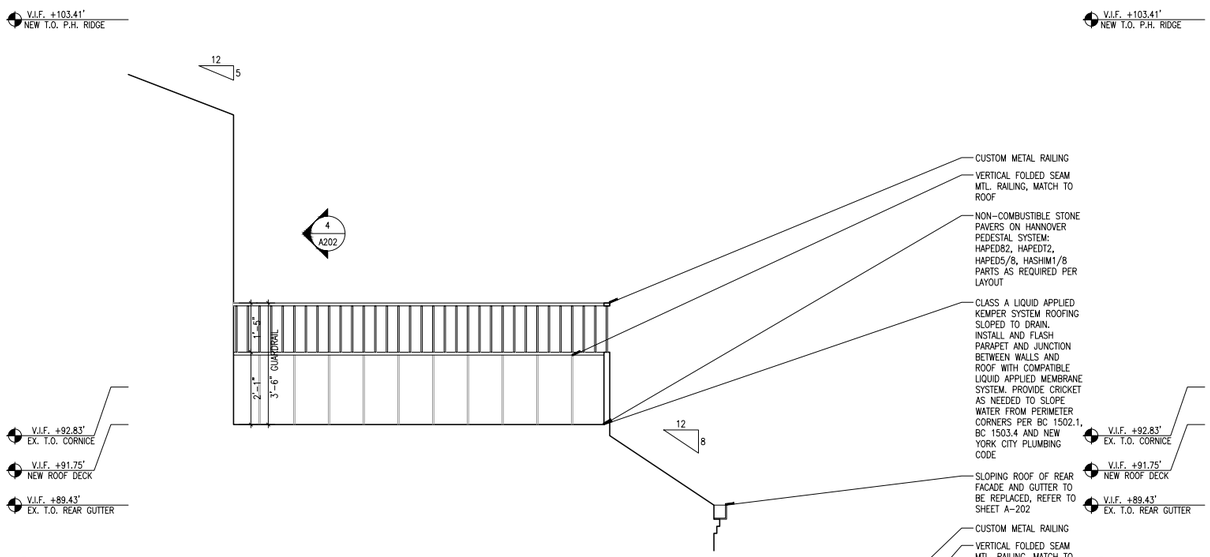
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

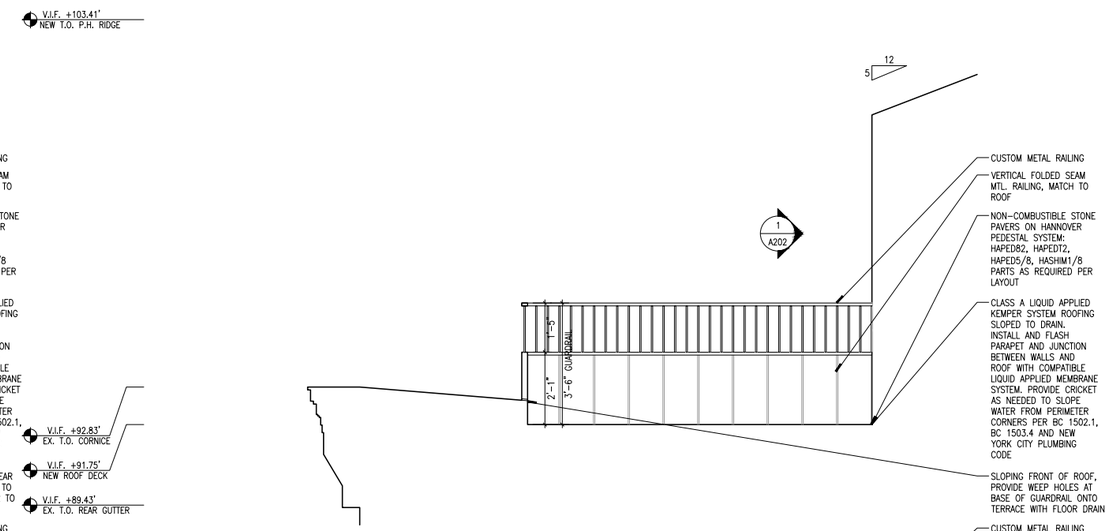
EXTERIOR ELEVATIONS: CONSTRUCTION FRONT & REAR

SHEET NUMBER

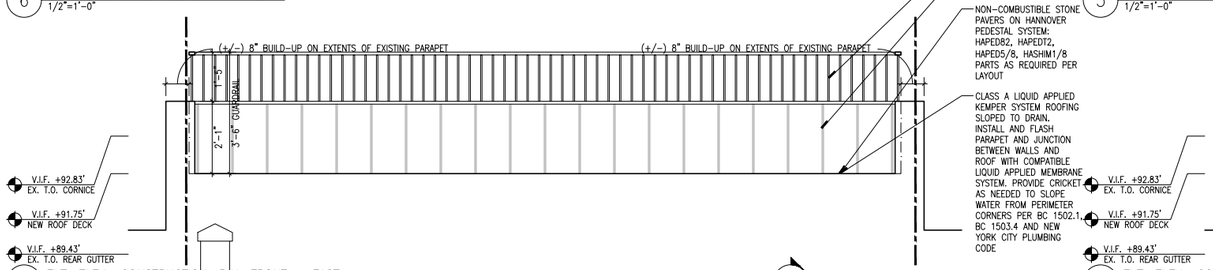
A-202.00



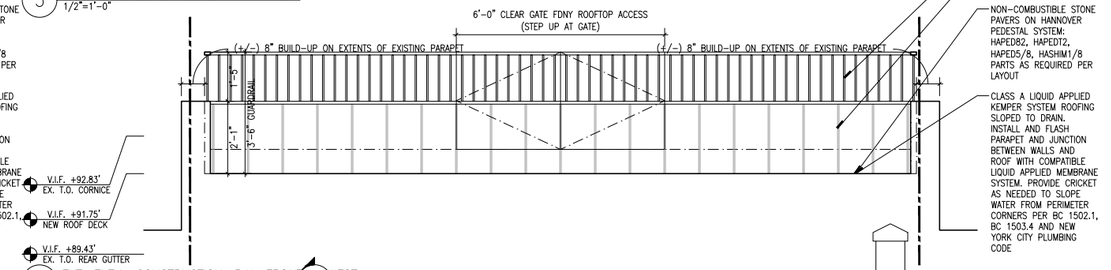
6 EXT. ELEV.: CONSTRUCTION: P.H. REAR – SOUTH
1/2"=1'-0"



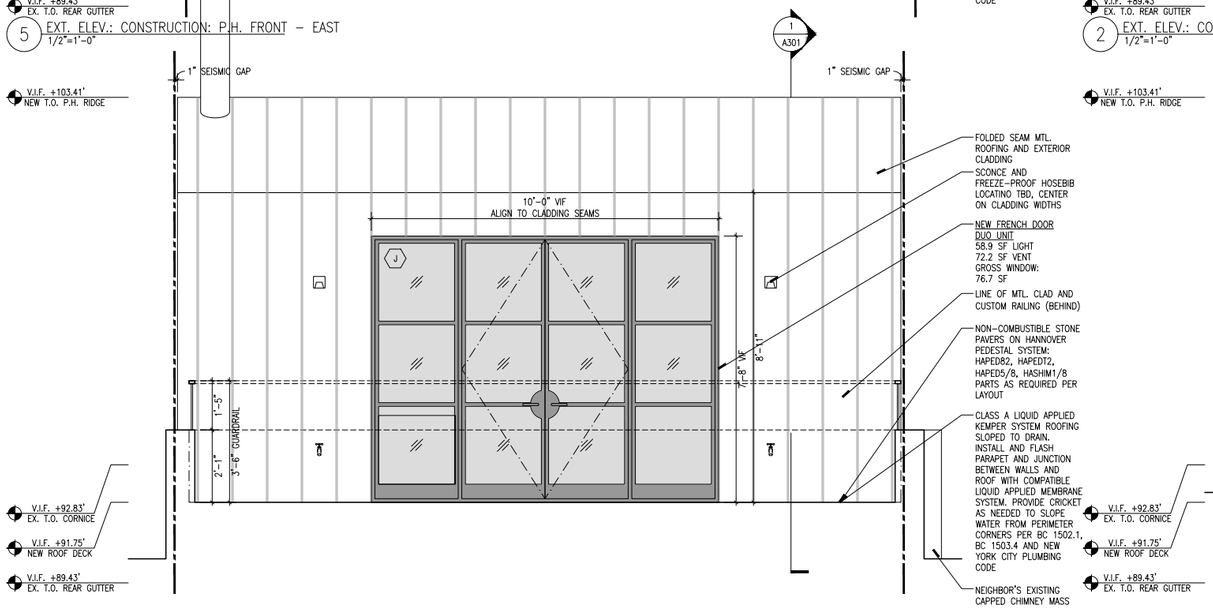
3 EXT. ELEV.: CONSTRUCTION: P.H. FRONT – SOUTH
1/2"=1'-0"



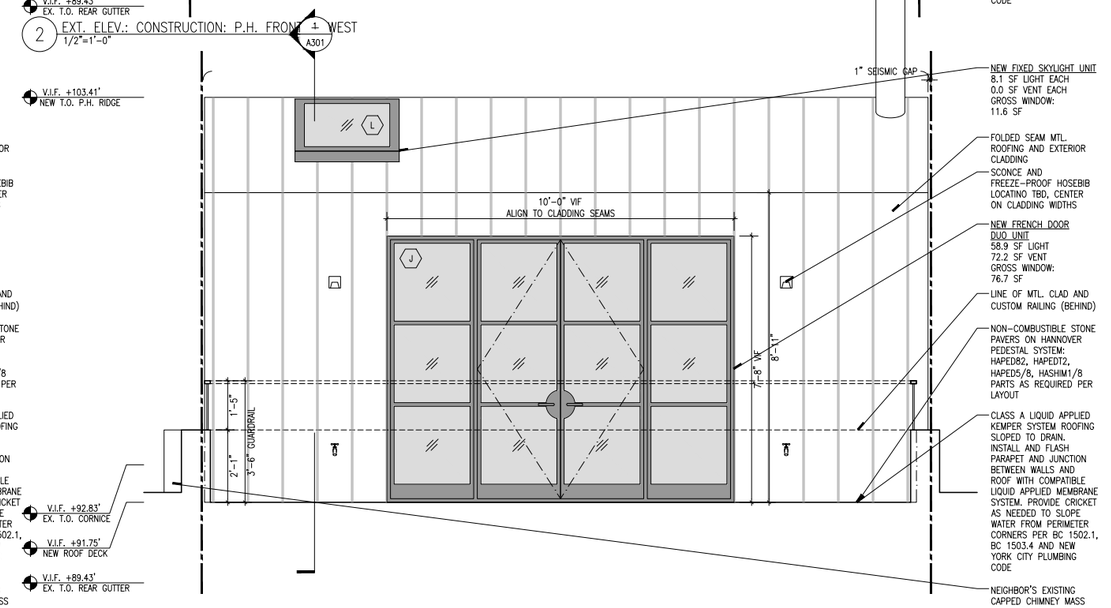
5 EXT. ELEV.: CONSTRUCTION: P.H. FRONT – EAST
1/2"=1'-0"



2 EXT. ELEV.: CONSTRUCTION: P.H. FRONT – WEST
1/2"=1'-0"



4 EXT. ELEV.: CONSTRUCTION: P.H. FRONT – WEST
1/2"=1'-0"



1 EXT. ELEV.: CONSTRUCTION: P.H. FRONT – EAST
1/2"=1'-0"

OWNER

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NYS RA LIC #038879

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LIST OF SEPARATE APPLICATIONS

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PLUMBING DOB NOW JOB #: B01274153-S2
SPRINKLER DOB NOW JOB #: B01274153-S3
STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

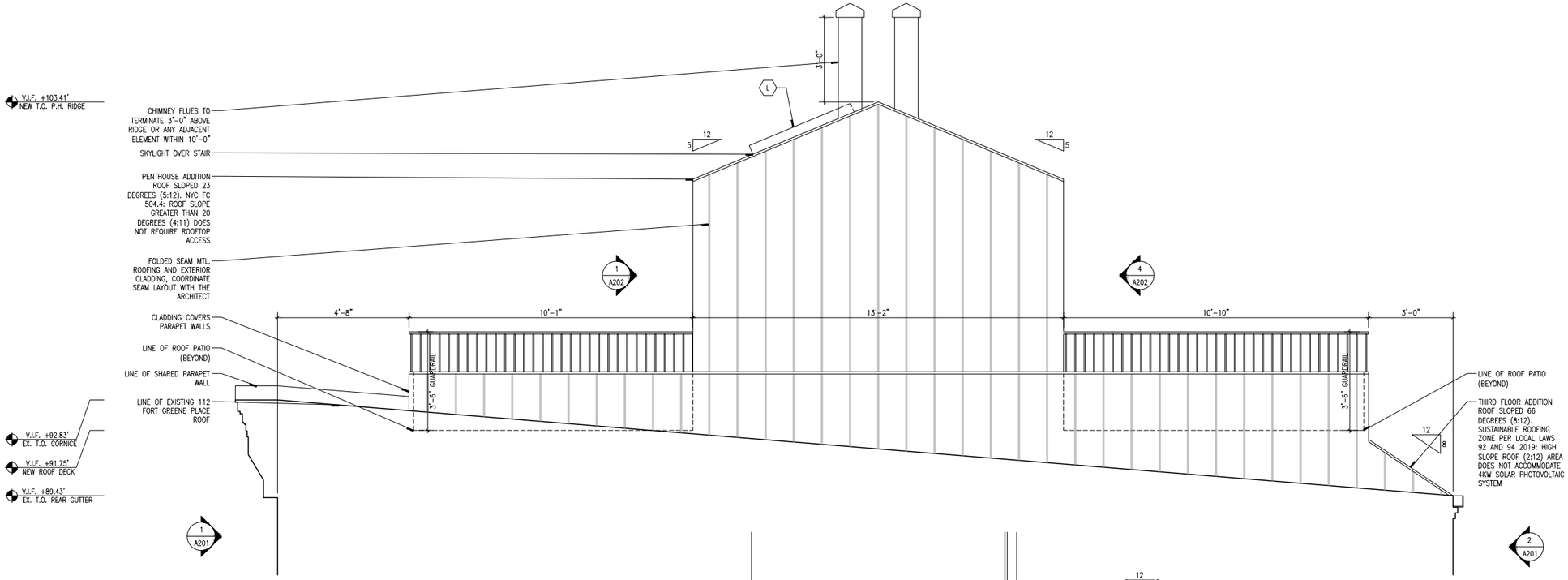
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

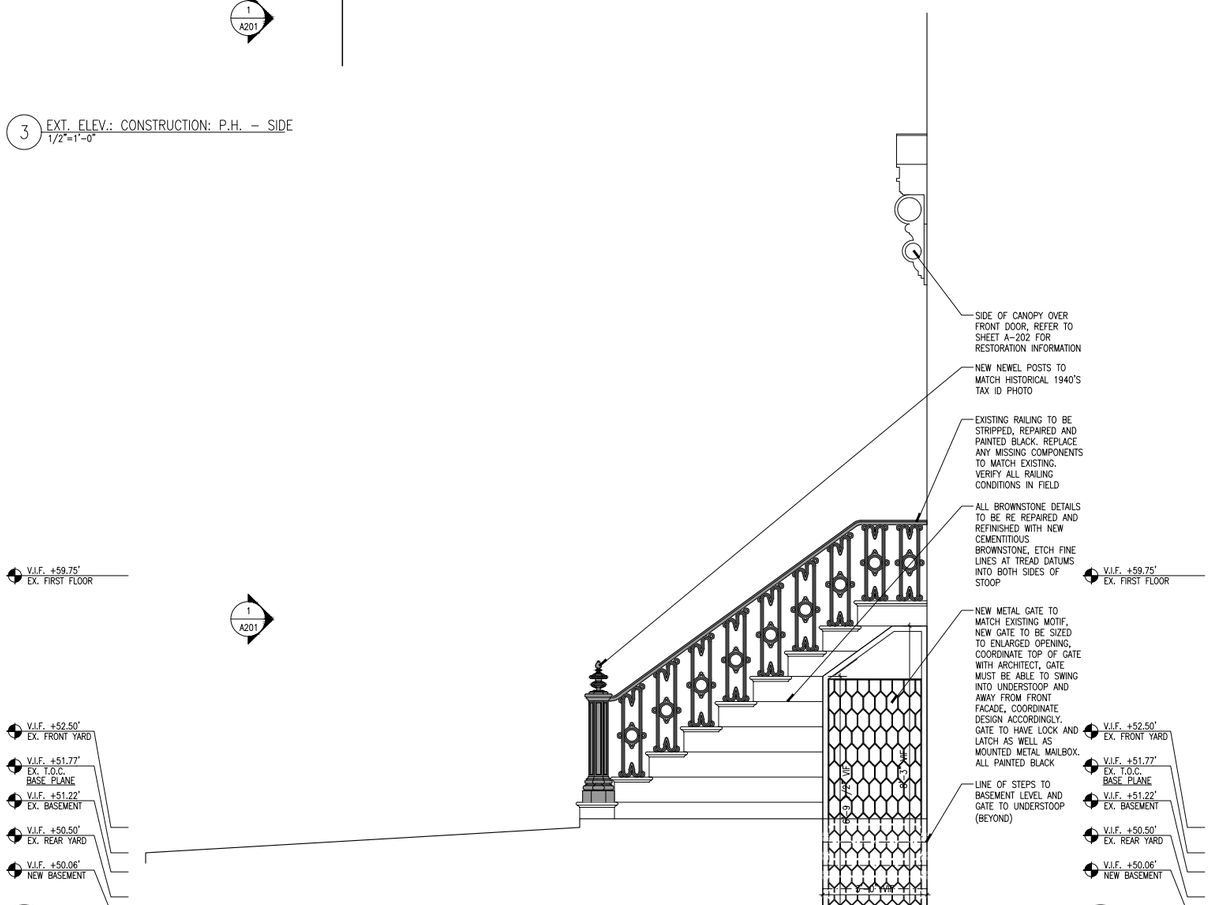
EXTERIOR ELEVATIONS: CONSTRUCTION PENTHOUSE

SHEET NUMBER

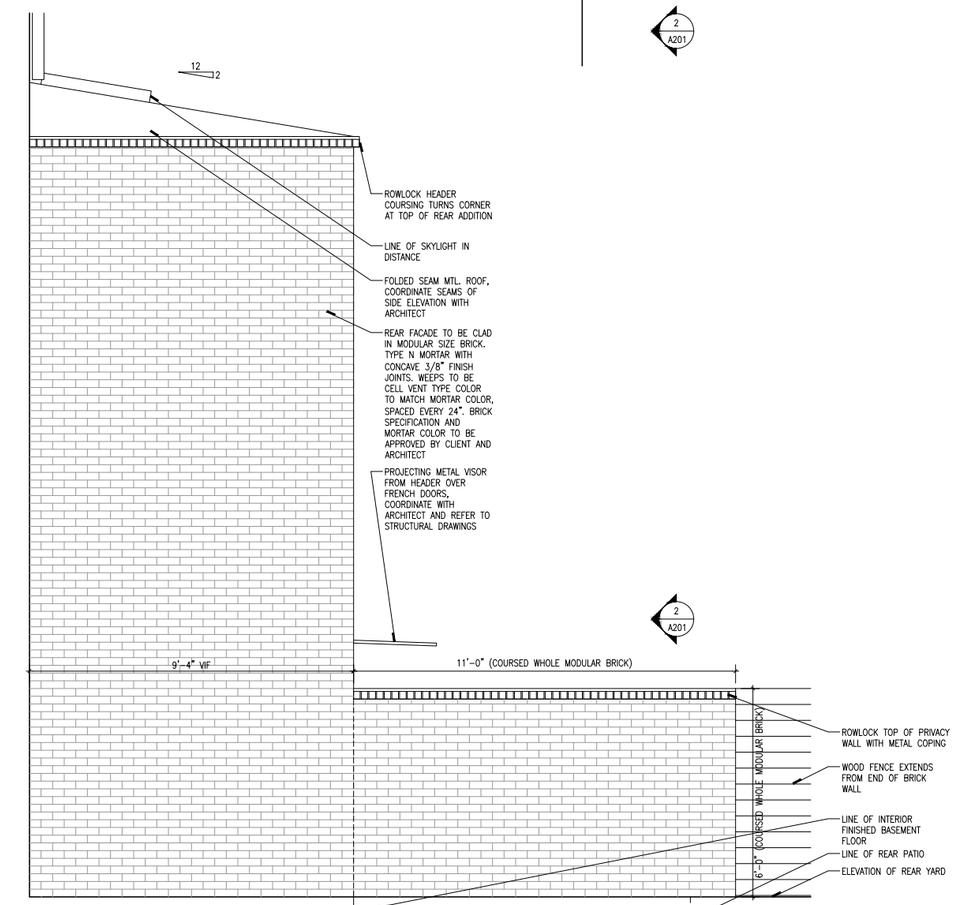
A-203.00



3 EXT. ELEV.: CONSTRUCTION: P.H. – SIDE
1/2"=1'-0"



2 EXT. ELEV.: CONSTRUCTION: STOOP – SIDE
1/2"=1'-0"



1 EXT. ELEV.: CONSTRUCTION: REAR EXTENSION – SIDE
1/2"=1'-0"

OWNER

DANIELLE COSENTINO & ENRIQUE CASAFONT
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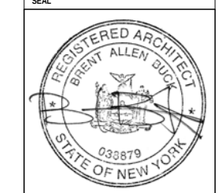
LIST OF SEPARATE APPLICATIONS

MECHANICAL DOB NOW JOB #: B01274153-S1
PLUMBING DOB NOW JOB #: B01274153-S2
SPRINKLER DOB NOW JOB #: B01274153-S3
STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6

SEAL



REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

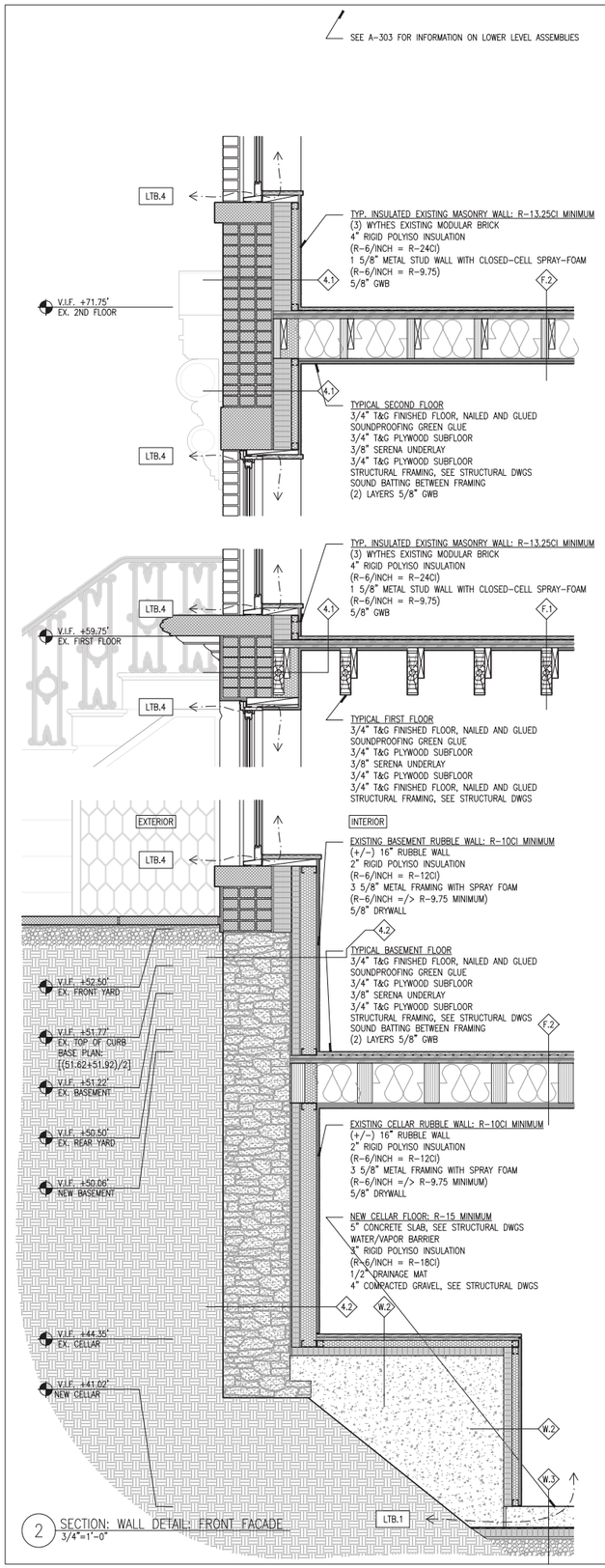
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	12/22/2025
ISSUED FOR	DOB FILING

SHEET TITLE

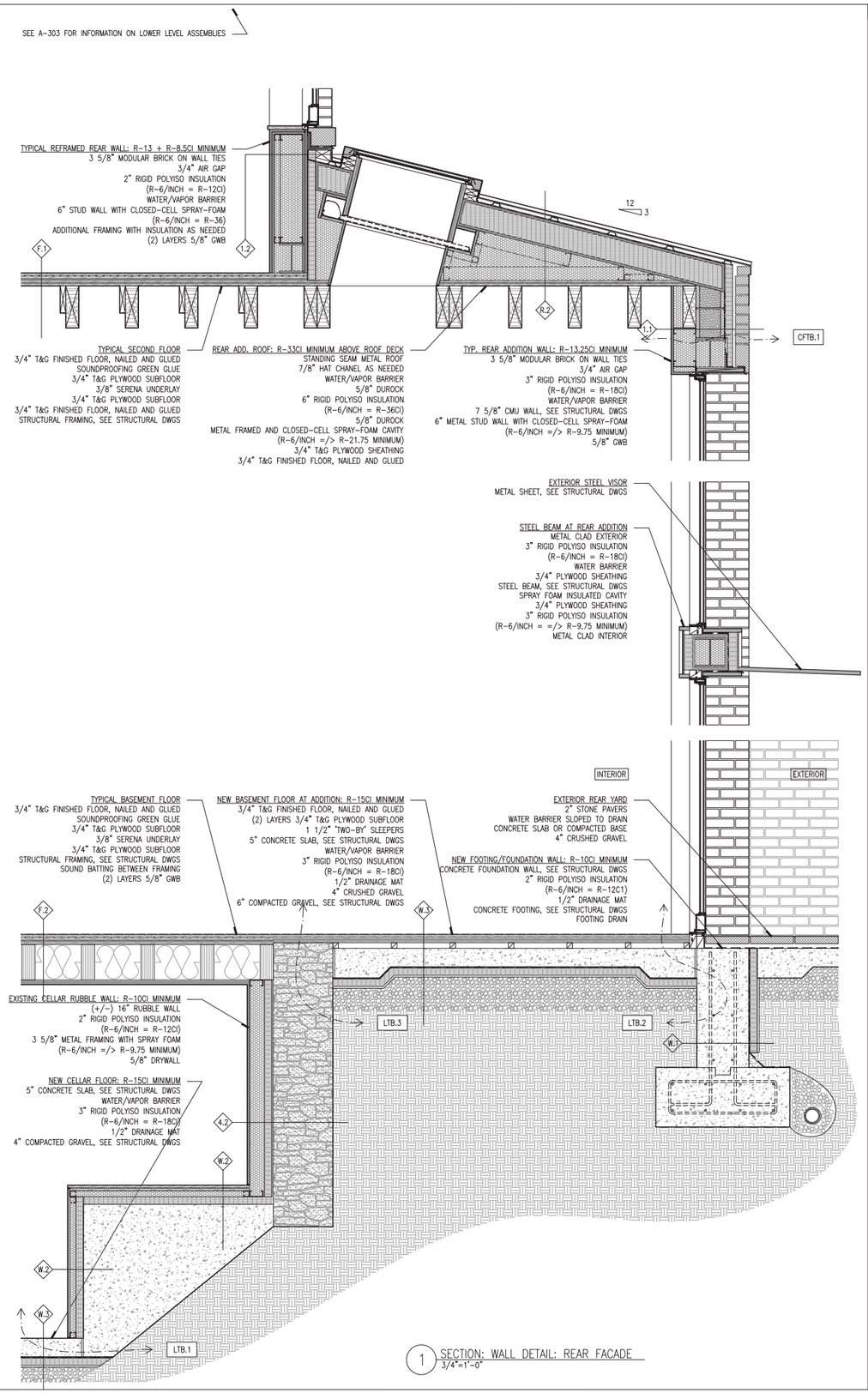
EXTERIOR ELEVATIONS: CONSTRUCTION SIDE

SHEET NUMBER

A-204.00



2 SECTION: WALL DETAIL: FRONT FACADE
3/4"=1'-0"



1 SECTION: WALL DETAIL: REAR FACADE
3/4"=1'-0"

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- NEW DOOR. SEE DOOR SCHEDULE. DOOR NUMBER. FLOOR NUMBER
- NEW WINDOW. SEE WINDOW SCHEDULE. WINDOW NUMBER. WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
  - NW: NEW: NEW PLUMBING FIXTURE
  - RP: REPLACE: NEW PLUMBING FIXTURE IN EXISTING LOCATION
  - RL: RELOCATE: EXISTING FIXTURE IN NEW LOCATION
- NEW MILLWORK. SEE MILLWORK SCHEDULE
- REVISION NOTE
- EXTERIOR ELEVATION TAG. DRAWING NUMBER. SHEET NUMBER
- SECTION MARKER TAG. DRAWING NUMBER. SHEET NUMBER
- INTERIOR ELEVATION TAG. SHEET NUMBER. DRAWING NUMBER
- SECTION DETAIL TAG. DRAWING NUMBER. SHEET NUMBER
- DETAIL TAG. DRAWING/TRIM NUMBER. SHEET NUMBER
- +0'-0" ELEVATION TAG
- GRID LINE
- SCO: UL-LISTED COMBINATION HARD-WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

OWNER

DANIELLE COSENTINO & ENRIQUE CASAFONT
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PLUMBING DOB NOW JOB #: B01274153-S2
SPRINKLER DOB NOW JOB #: B01274153-S3
STRUCTURAL DOB NOW JOB #: B01274153-S4
FOUNDATION DOB NOW JOB #: B01274153-S5
CON. FENCE DOB NOW JOB #: B01274153-S6
BUILDERS PAVEMENT PLAN JOB #: 340922997

SEAL

REGISTERED ARCHITECT
BRENT ALLEN BUCK
038879
STATE OF NEW YORK

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING
01	12/22/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

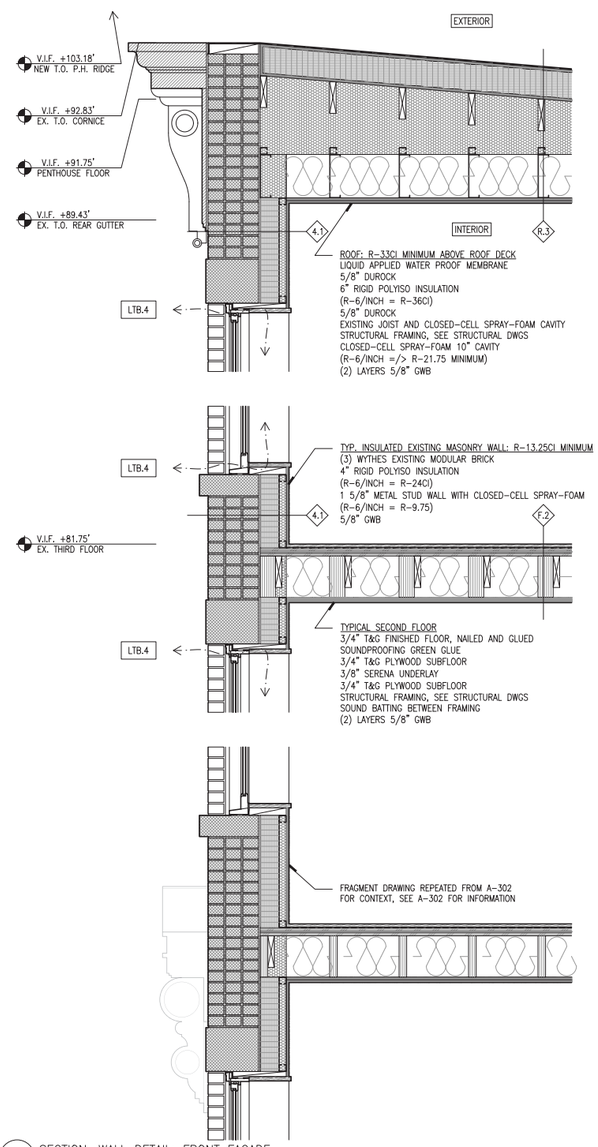
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	01/22/2026
ISSUED FOR	DOB FILING

SHEET TITLE

SECTION: WALL DETAILS FRONT FACADE

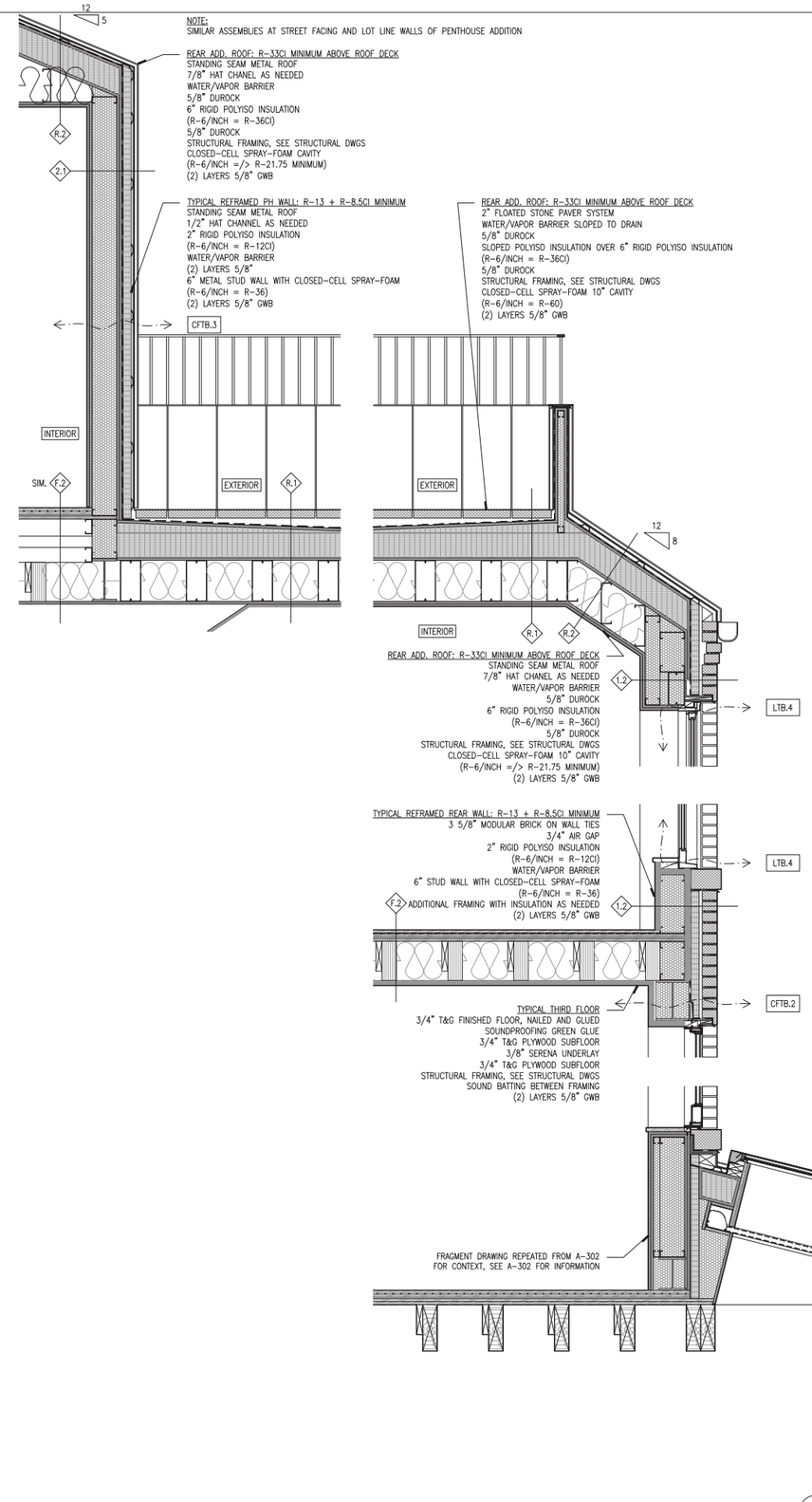
SHEET NUMBER

A-302.00



2 SECTION: WALL DETAIL: FRONT FACADE
3/4"=1'-0"

SEE A-302 FOR INFORMATION ON LOWER LEVEL ASSEMBLIES



SEE A-302 FOR INFORMATION ON LOWER LEVEL ASSEMBLIES

1 SECTION: WALL DETAIL: REAR FACADE
3/4"=1'-0"

CONSTRUCTION LEGEND

- EXISTING WALL/PARTITION TO REMAIN. SEE WALL/PARTITION DETAILS
- NEW INTERIOR NON-BEARING, NON-RATED PARTITION. SEE WALL/PARTITION DETAILS
- NEW EXTERIOR BRICK, CMU OR METAL FRAMED WALL (2-HR). SEE WALL/PARTITION DETAILS
- NEW EXTERIOR METAL CLAD, METAL FRAMED WALL (2HR). SEE WALL/PARTITION DETAILS
- NEW INTERIOR 2-HR RATED NON-BEARING PARTITION. SEE WALL/PARTITION DETAILS
- EXISTING BRICK/MASONRY WALL TO REMAIN (8" MIN 2HR) WALL/PARTITION TYPE TAG. SEE WALL/PARTITION DETAILS
- NEW DOOR. SEE DOOR SCHEDULE DOOR NUMBER FLOOR NUMBER
- NEW WINDOW. SEE WINDOW SCHEDULE WINDOW NUMBER WINDOW TYPE
- NEW APPLIANCE. SEE APPLIANCE SCHEDULE
- NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND SCHEDULE
  - NW: NEW: NEW PLUMBING FIXTURE
  - RP: REPLACE: NEW PLUMBING FIXTURE IN EXISTING LOCATION
  - RL: RELOCATE: EXISTING FIXTURE IN NEW LOCATION
- NEW MILLWORK. SEE MILLWORK SCHEDULE
- REVISION NOTE
- EXTERIOR ELEVATION TAG — DRAWING NUMBER, SHEET NUMBER
- SECTION MARKER TAG — DRAWING NUMBER, SHEET NUMBER
- INTERIOR ELEVATION TAG — SHEET NUMBER, DRAWING NUMBER
- SECTION DETAIL TAG — DRAWING NUMBER, SHEET NUMBER
- DETAIL TAG — DRAWING/TRIM NUMBER, SHEET NUMBER
- +0'-0" ELEVATION TAG
- GRID LINE
- SCO: UL-LISTED COMBINATION HARD-WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR

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- SPRINKLER DOB NOW JOB #: B01274153-S3
- STRUCTURAL DOB NOW JOB #: B01274153-S4
- FOUNDATION DOB NOW JOB #: B01274153-S5
- CON. FENCE DOB NOW JOB #: B01274153-S6
- BUILDERS PAVEMENT PLAN JOB #: 340922997

SEAL

REGISTERED ARCHITECT BRENT ALLEN BUCK 038879 STATE OF NEW YORK

REV	DATE	DESCRIPTION
	10/28/2025	DOB FILING
01	12/22/2025	DOB FILING

DOB NOW JOB NUMBER

B01274153-I1

DEPARTMENT OF BUILDINGS APPROVALS

PROJECT NAME

114 FORT GREENE PLACE
BROOKLYN, NY 11217

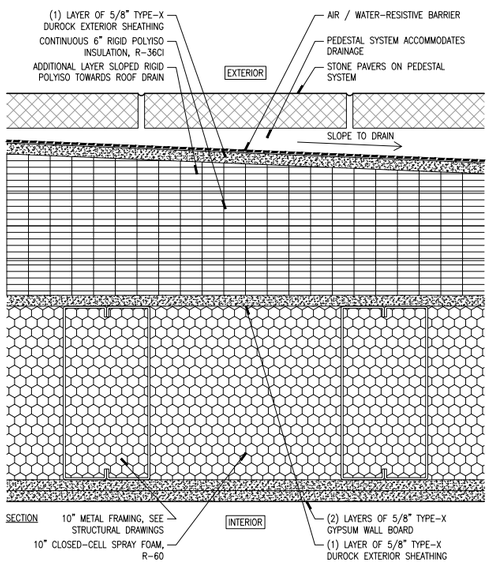
PROJECT NUMBER	65
DRAWN BY	IP
CHECKED BY	BB
DATE	01/22/2026
ISSUED FOR	DOB FILING

SHEET TITLE

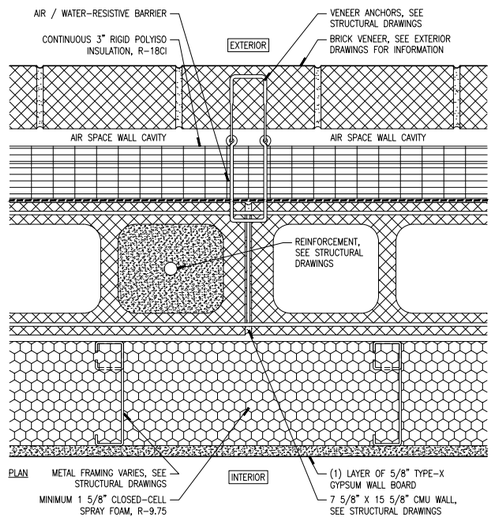
SECTION: WALL DETAILS FRONT FACADE

SHEET NUMBER

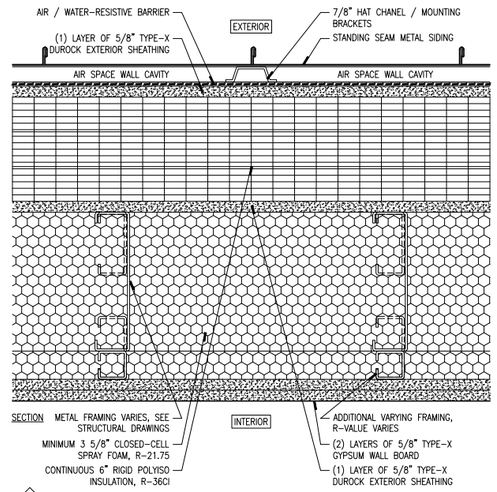
A-303.00



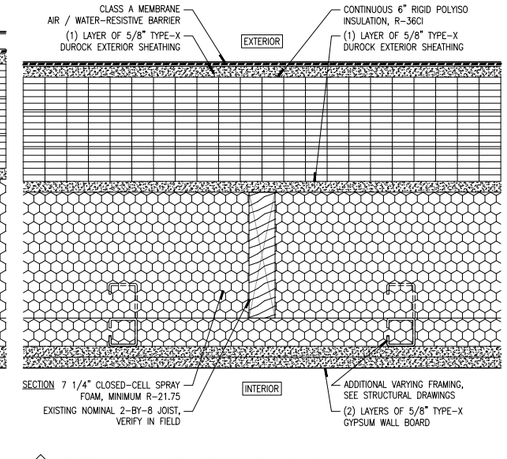
R.1 EXTERIOR ROOF TERRACE – 2 HR.
3"=1'-0"



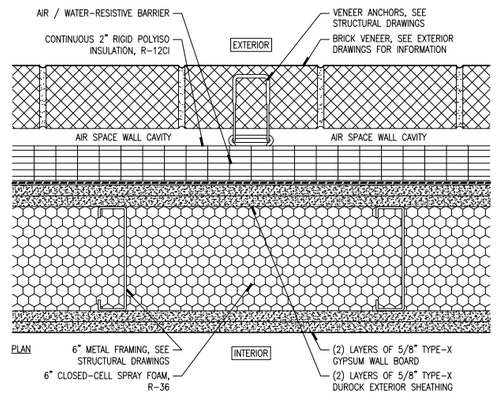
1.1 EXTERIOR CMU WALL WITH MODULAR BRICK VENEER – 2 HR.
3"=1'-0" [CFTB.1]



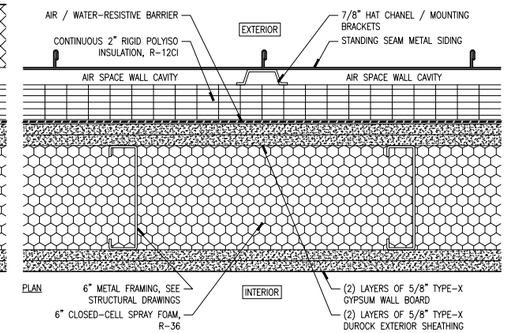
R.2 EXTERIOR ROOF WITH METAL CLADDING – 2 HR.
3"=1'-0"



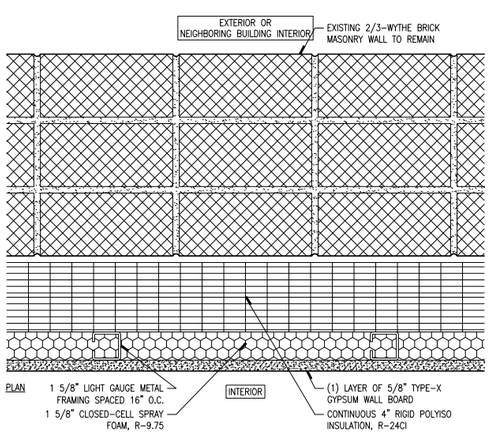
R.3 EXTERIOR ROOF WITH MEMBRANE – 2 HR.
3"=1'-0"



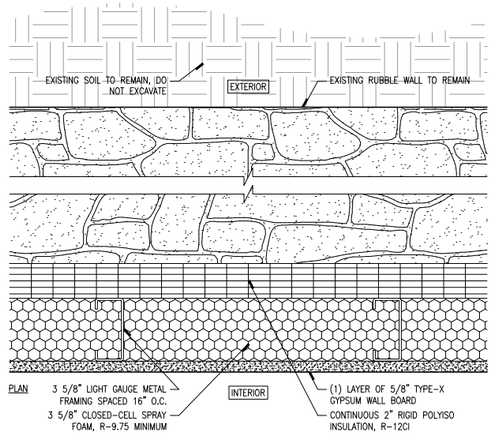
1.2 EXTERIOR METAL FRAMED WALL WITH MODULAR BRICK VENEER – 2 HR.
3"=1'-0" [CFTB.2]



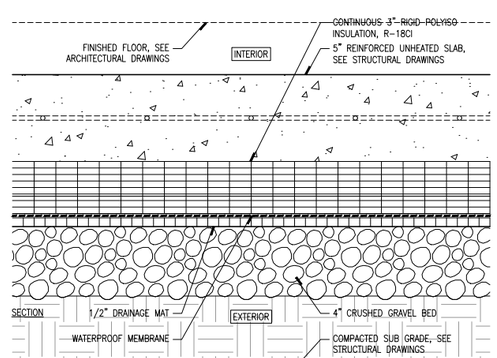
2.1 EXTERIOR METAL FRAMED WALL WITH METAL CLADDING – 2 HR.
3"=1'-0" [CFTB.3]



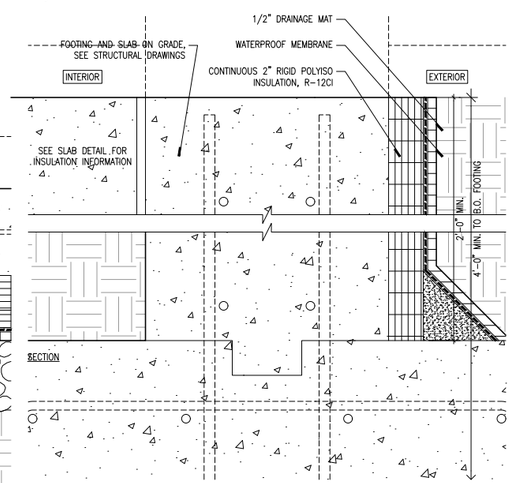
4.1 EXTERIOR ABOVE GRADE INSULATED EXISTING MASONRY WALL – 2HR.
3"=1'-0"



4.2 EXTERIOR BELOW GRADE INSULATED EXISTING RUBBLE WALL – 2 HR.
3"=1'-0"



W.3 EXTERIOR SLAB ON GRADE – 2 HR.
3"=1'-0"



W.1 EXTERIOR BELOW GRADE INSULATED FOOTING – 2 HR.
3"=1'-0"

FIRESTOPPING DETAIL OF PIPING PIERCING FIRE RATED PARTITIONS, WALLS, AND FLOORS (N.T.S.)

A. ALL SPACES PACKED FULL DEPTH WITH MINERAL WOOL OR OTHER EQUALLY APPROVED FIRE RESISTIVE MATERIAL (ASBESTOS OR FIRBERGLASS SHALL NOT BE USED)

FIRE RESISTANT FOAM SEALANT CHASE FOAM CTC P2-855 (NYC MEA #58-79 M#1&11 MAY BE USED). INSTALLATION AS PER MANUFACTURER.

B. ESCUTCHEON BOTH SIDES

C. SLEEVES

D. DIAMETER OF INSULATED PIPE

E. ANHYDROUS CALCIUM SILICATE INSULATION THROUGH SLEEVE.

F. FIRE RATED PARTITION WALL OR FLOOR

G. FIBERGLASS INSULATION

H. TERMINATE INSULATION AT ESTUCHEON

J. 1/2" DEPTH FIRESTOP FINISH SEALANT

FIRESTOPPING OF PIPING PIERCING FIRE RATED PARTITIONS, WALLS, AND FLOORS NOTES

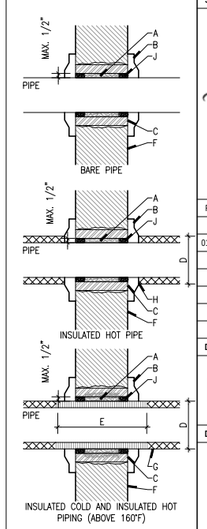
1. APPROVED FIRE RESISTANT FOAM SEALANT CHASE FOAM MAY BE USED. INSTALLATION PER MANUFACTURER RECOMMENDATIONS

2. PIPE PENETRATIONS TO HAVE ESCUTCHEONS ON BOTH SIDE OF RATED PARTITION

3. PIPE PENETRATIONS TO HAVE SLEEVES THROUGH RATED PARTITION

4. ANHYDROUS CALCIUM SILICATE INSULATION TO BE USED AROUND PIPE THROUGH PIPE SLEEVE AT INSULATED COLD AND INSULATED HOT PIPING (ABOVE 160°F). OTHER AREAS OF PIPE TO HAVE FIBERGLASS PIPE INSULATIONS

5. ALL SPACES TO BE PACKED FULL DEPTH WITH MINERAL WOOL OR OTHER EQUALLY APPROVED FIRE RESISTIVE MATERIAL (ASBESTOS OR FIBERGLASS SHALL NOT BE USED). 1/2" DEPTH FIRESTOP FINISH SEALANT



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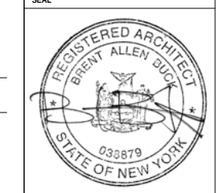

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SHEET TITLE

DETAILS: PARTITION TYPES

SHEET NUMBER

A-505.00

Bulkhead Mock-Up

Earlier images of Mock-Up construction. This massing represents the design we are returning to.

Image of mock-up, looking south.

Image of mock-up, looking north.

Bulkhead Mock-Up

Images from street of mock-up at time of previous slide. The mock-up is not visible from these vantages.

Image of 114 Fort Greene Place, looking northwest. Bulkhead is not visible.

Image of 114 Fort Greene Place, looking west. Bulkhead is not visible.

Image of 114 Fort Greene Place, looking southwest. Bulkhead is not visible.

Landmarks Preservation Commission

February 3, 2026
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-04358

114 Fort Greene Place – Brooklyn Academy of Music Historic District – Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 161 897 1031
Passcode: 399948
By Phone: 646-828-7666 (NY)
833-435-1820 (Toll-free)
833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.