

January 27, 2026
Public Hearing

The current proposal is:

Preservation Department – Item 2, LPC-26-05098

**164 Dean Street – Boerum Hill Historic District
Borough of Brooklyn**

To testify virtually, please join Zoom

Webinar ID: 160 174 1093

Passcode: 555175

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

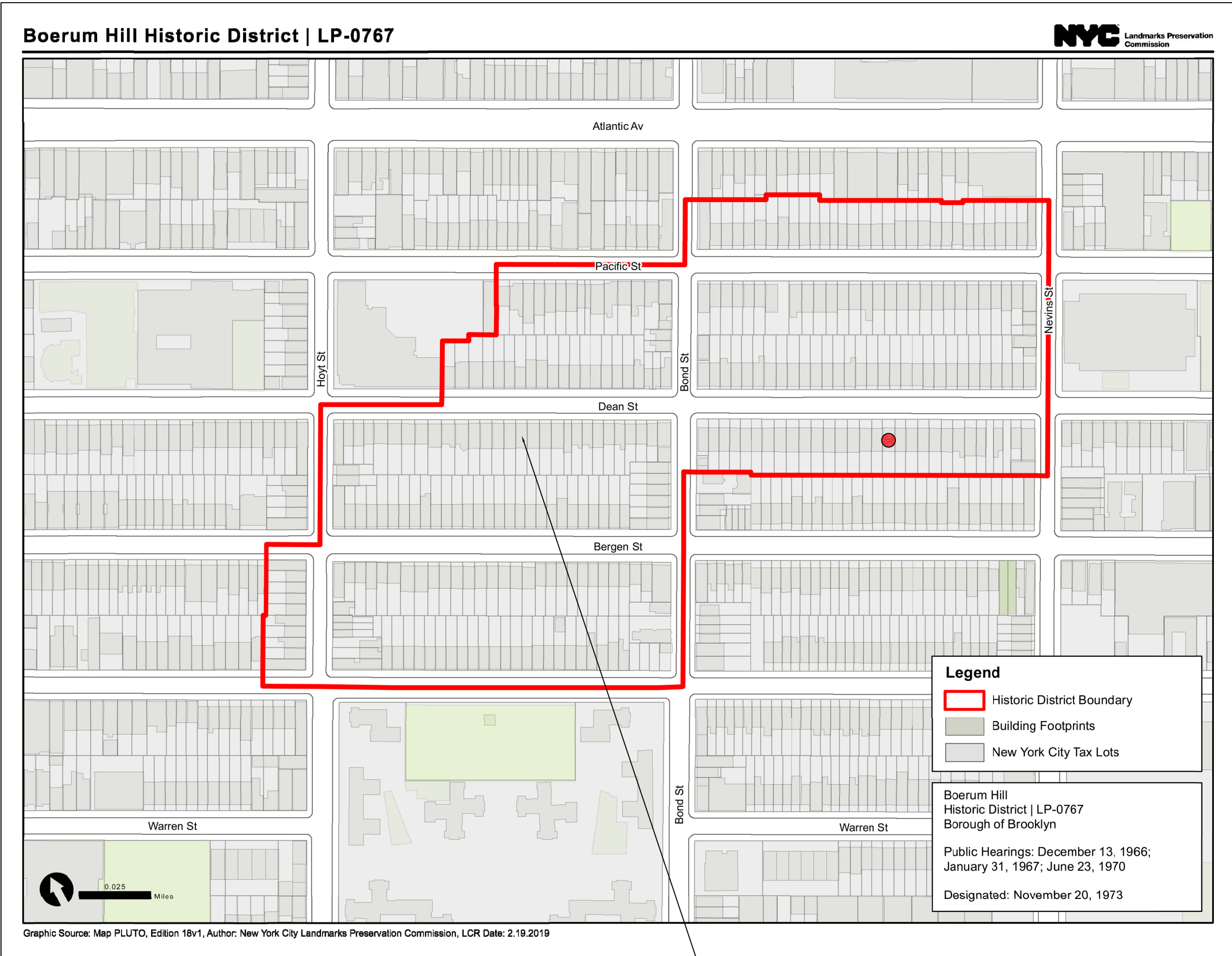
833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



1 CA. 1940 TAX PHOTO OF SUBJECT BUILDING

N.T.S.



3 HISTORIC DISTRICT BOUNDARY

N.T.S.



4 BLOCK PLAN

N.T.S.



2 CURRENT PHOTO OF SUBJECT BUILDING

N.T.S.

RENOVATION OF 164 DEAN STREET BROOKLYN, NEW YORK 11217

PRESENTED TO LANDMARKS PRESERVATION COMMISSION

DRAWING INDEX:	
LM-01	TAX PHOTOS AND BLOCK PLAN
LM-02	BLOCK PLAN
LM-03	MECHANICAL SIGHTLINE PHOTOS & DIAGRAM
LM-04	EXISTING AND PROPOSED REAR EXTERIOR ELEVATIONS & REAR FACADE PHOTOS
LM-05	EXISTING AND PROPOSED REAR WINDOWS

SHEET NOTES:

ARCHITECT OF RECORD:

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247 Prospect Avenue, 2nd Floor
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Phone: (347) 410-5560

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

PROPRIETARY INFORMATION:

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DRAWING TITLE

TAX PHOTOS, BLOCK PLAN, & SCOPE DIAGRAM

ISSUE	DATE
LPC SUBMITTAL	10/23/25
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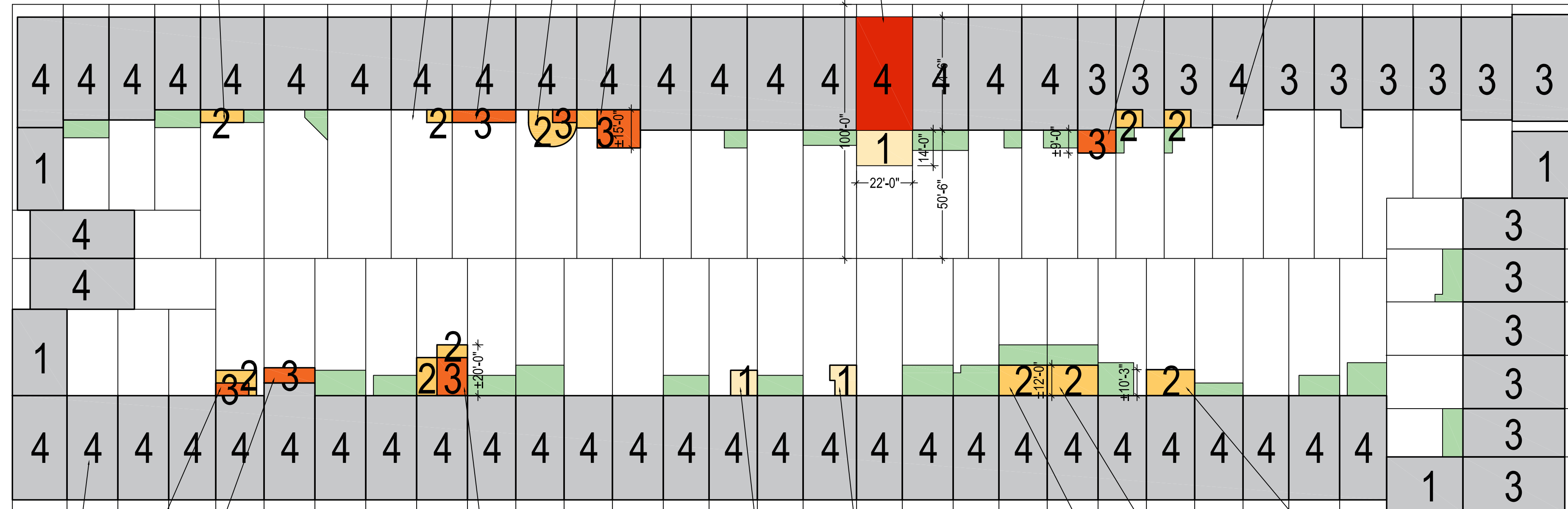
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PROJECT #	DRAWING #
267	LM-01
DATE	SHEET
10-23-25	01 OF 5



178 DEAN
1 STORY
VERTICAL

SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY 11217



BOND STREET

BERGEN STREET

179 BERGEN
1 STORY RAISED
ADDITION



NOTE: MEASUREMENTS ARE PER
DOB / LPC FILING DOCUMENTS, IF
AVAILABLE. OTHERWISE, THEY ARE
ESTIMATED USING THE 'MEASURE'
TOOL ON NYC ZOLA MAPS, AERIAL
IMAGERY VIEW



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

1 VIEW 'A'



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

2 VIEW 'B'



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

3 VIEW 'C'



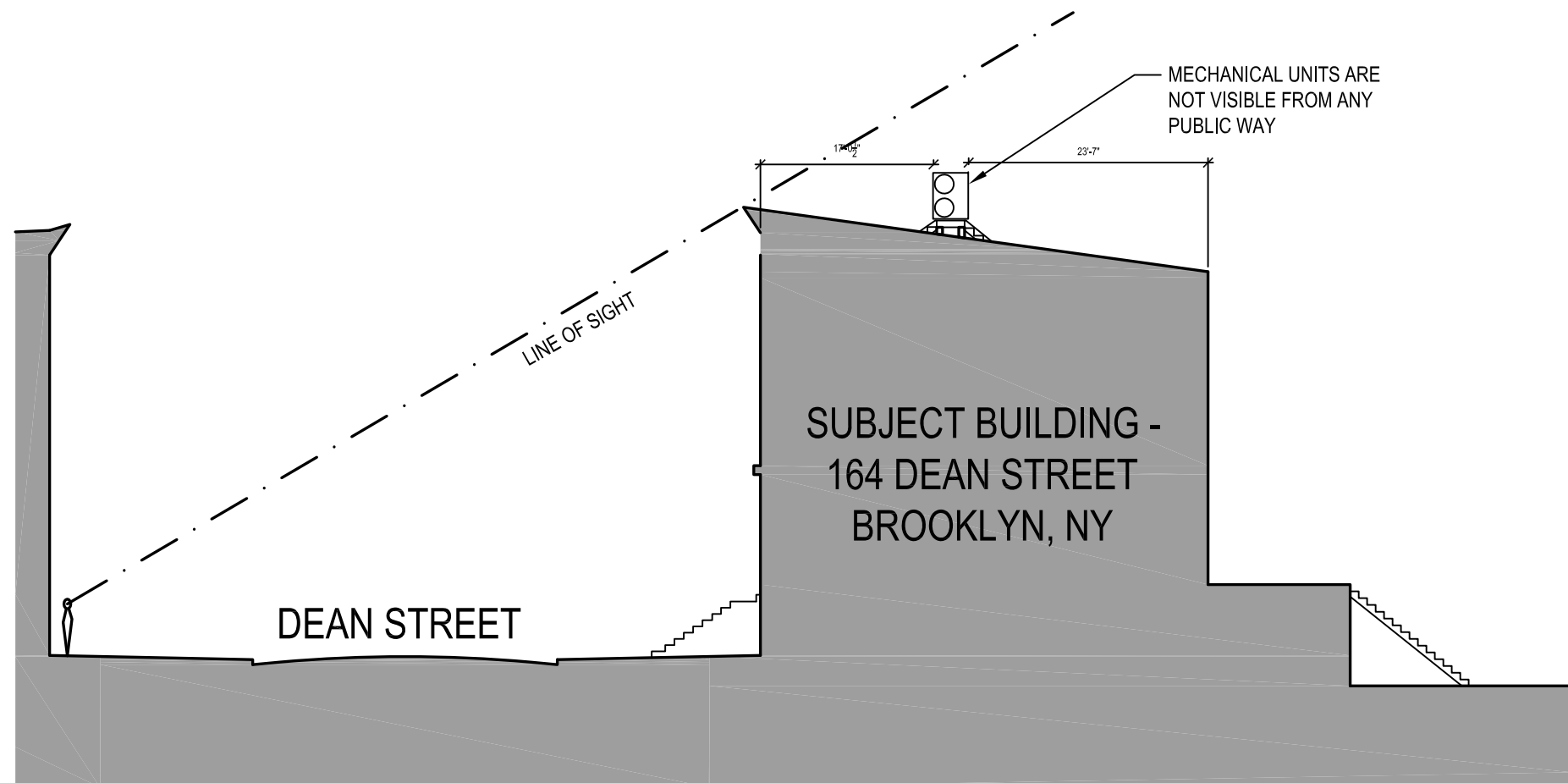
SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

4 VIEW 'D'

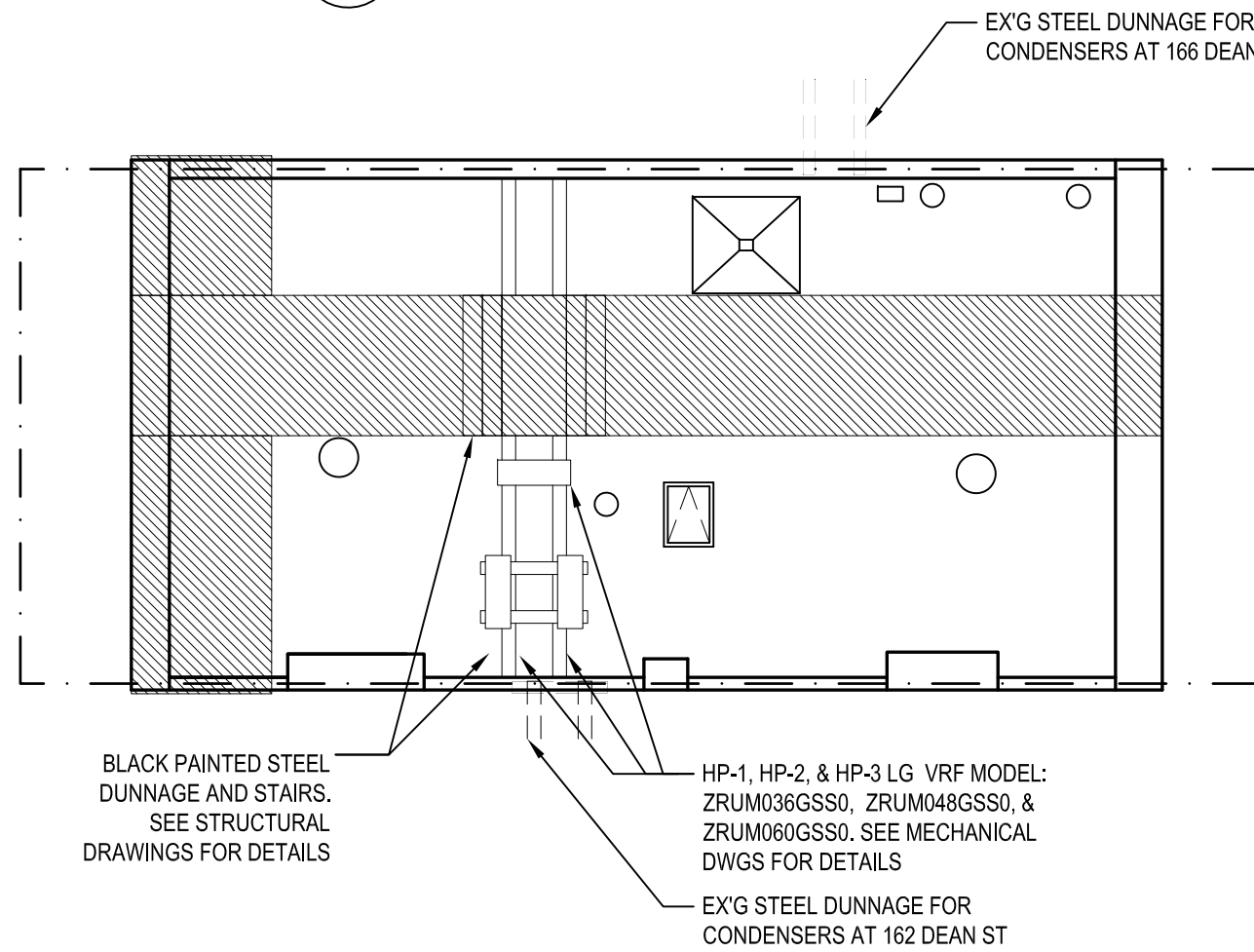


SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

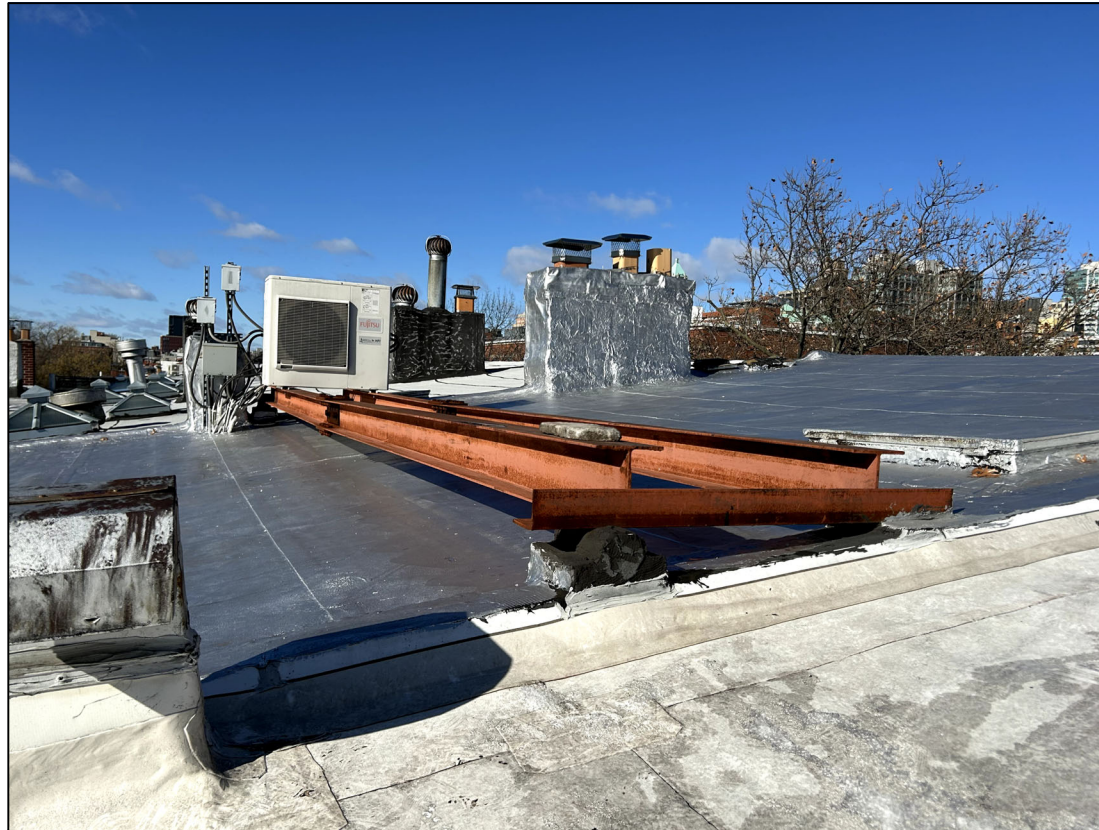
5 VIEW 'E'



6 VIEW SIGHTLINE SECTION



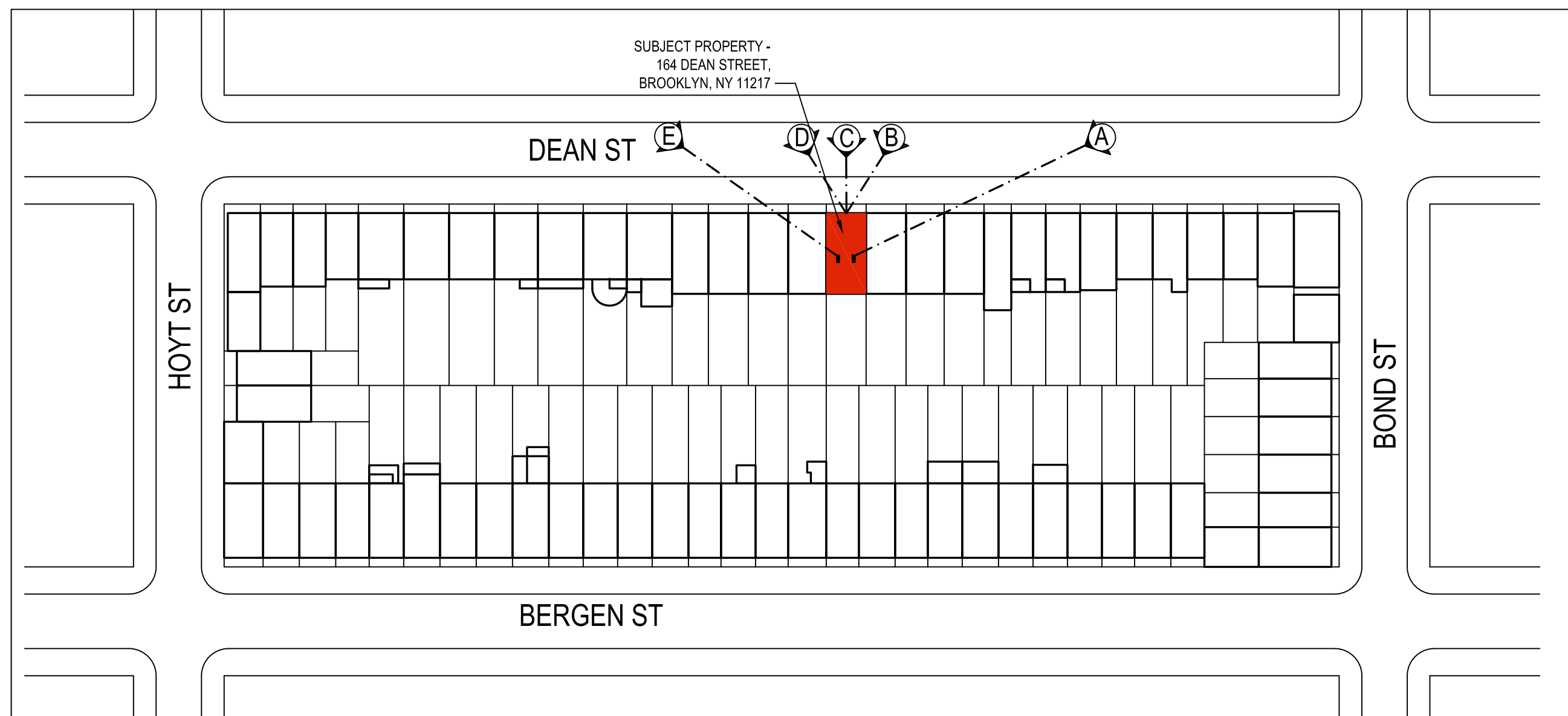
7 PROPOSED ROOF PLAN



10 ROOFTOP DUNNAGE AT 162 DEAN ST
NTS



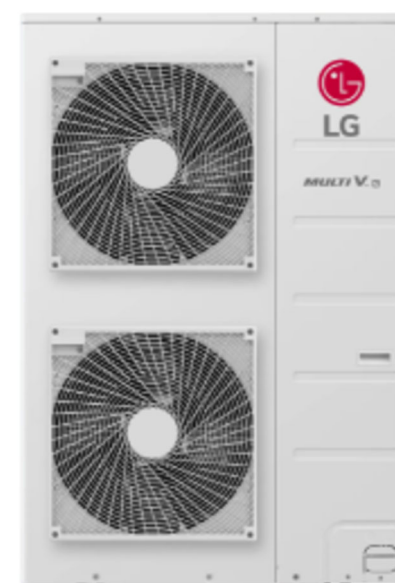
11 ROOFTOP DUNNAGE AT 166 DEAN ST
NTS



8 BLOCK PLAN

LG CONDENSERS
ZRUM036GSS0,
ZRUM048GSS0, &
ZRUM060GSS0

DIMENSIONS:
54.4" X 37.4" X 13"



9 CONDENSER SPEC AND PHOTO

SHEET NOTES:

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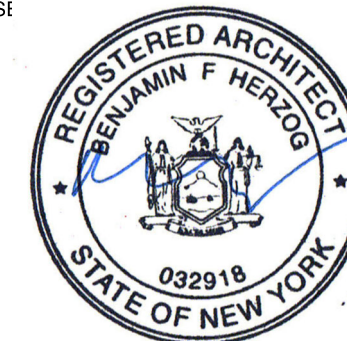
DRAWING TITLE

MECHANICAL
SIGHTLINE PHOTOS &
DIAGRAM

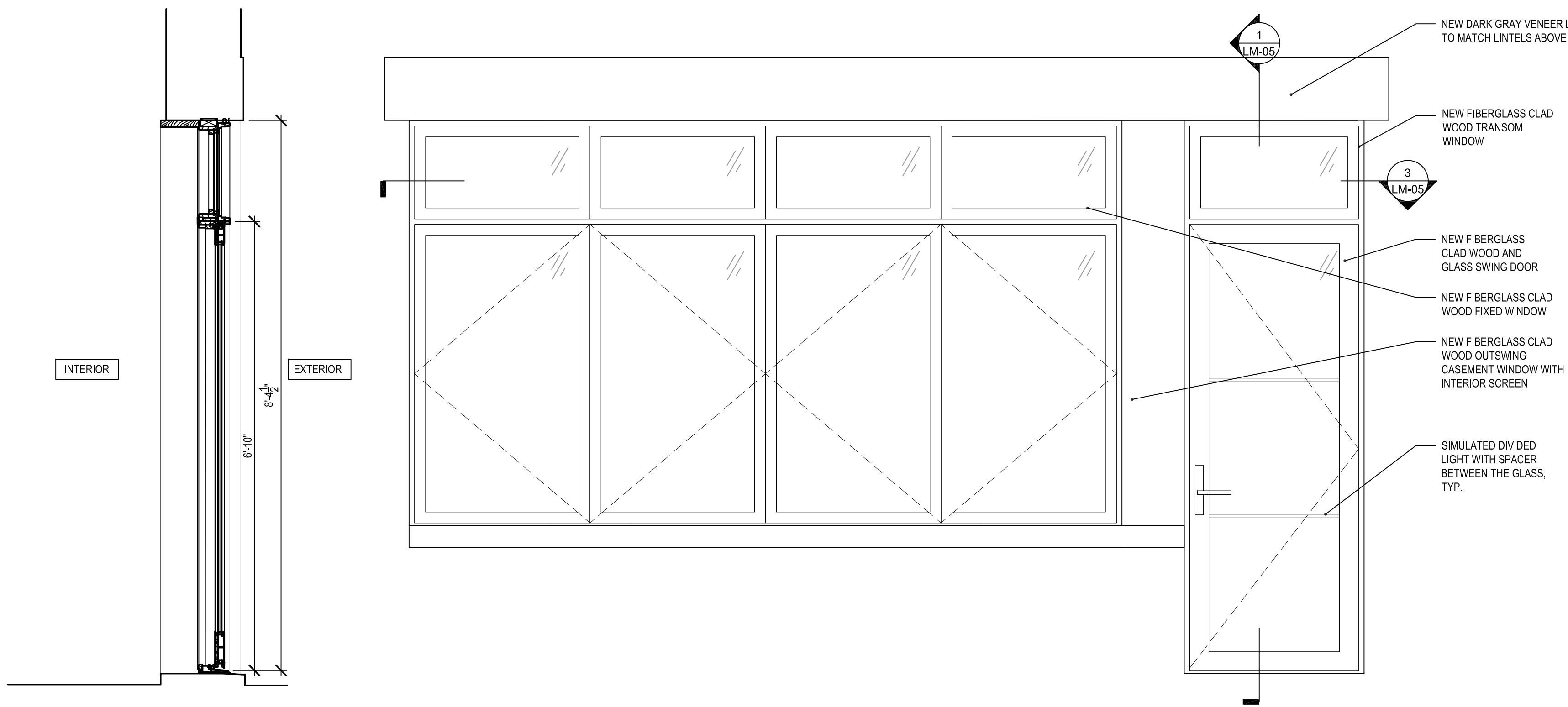
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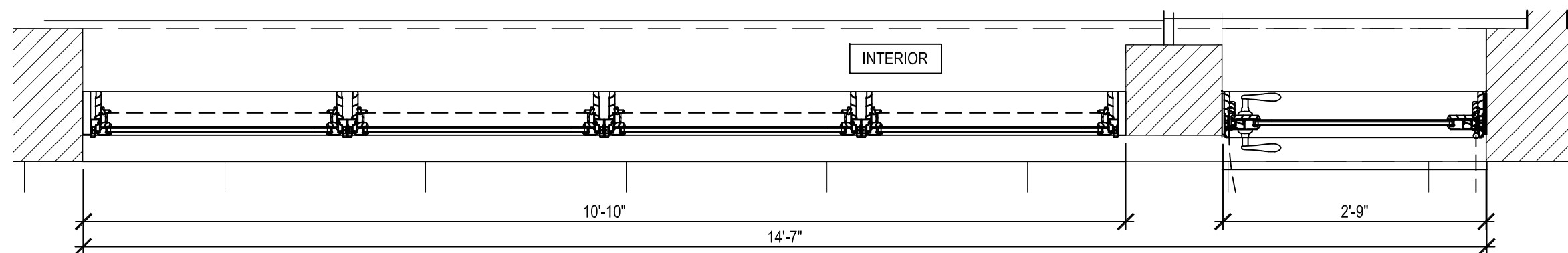


PROJECT #	DRAWING #
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DATE	SHEET
10-23-25	03 OF 5

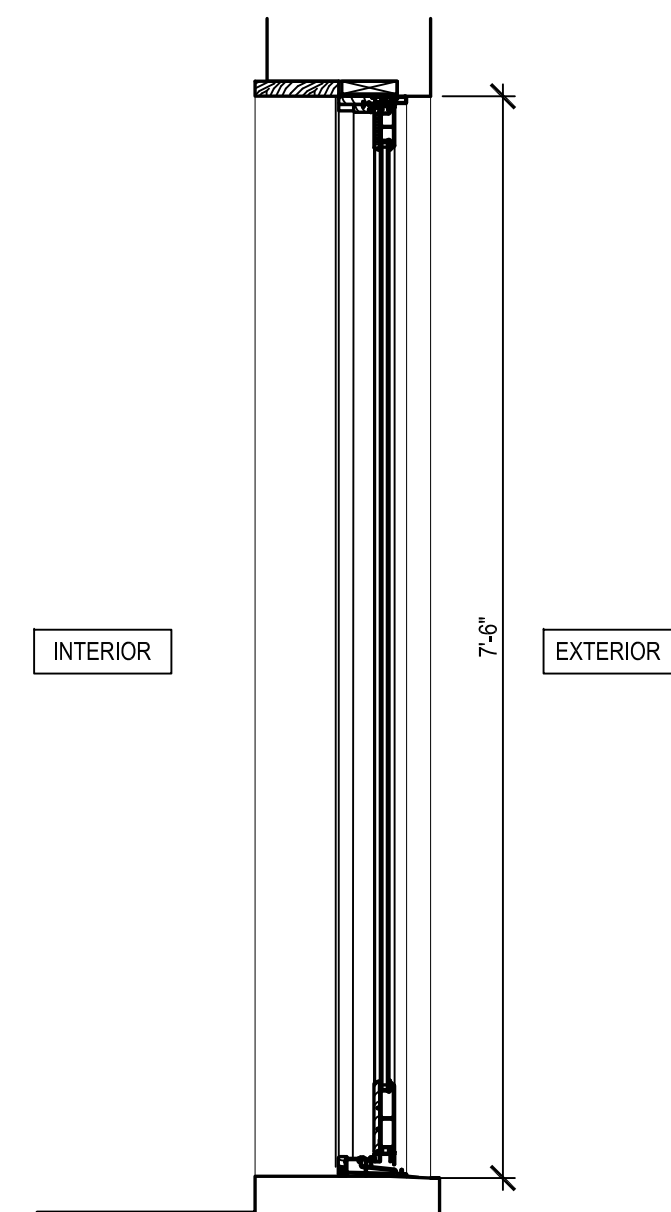


1 PROPOSED SECT.
3/4"= 1'-0"

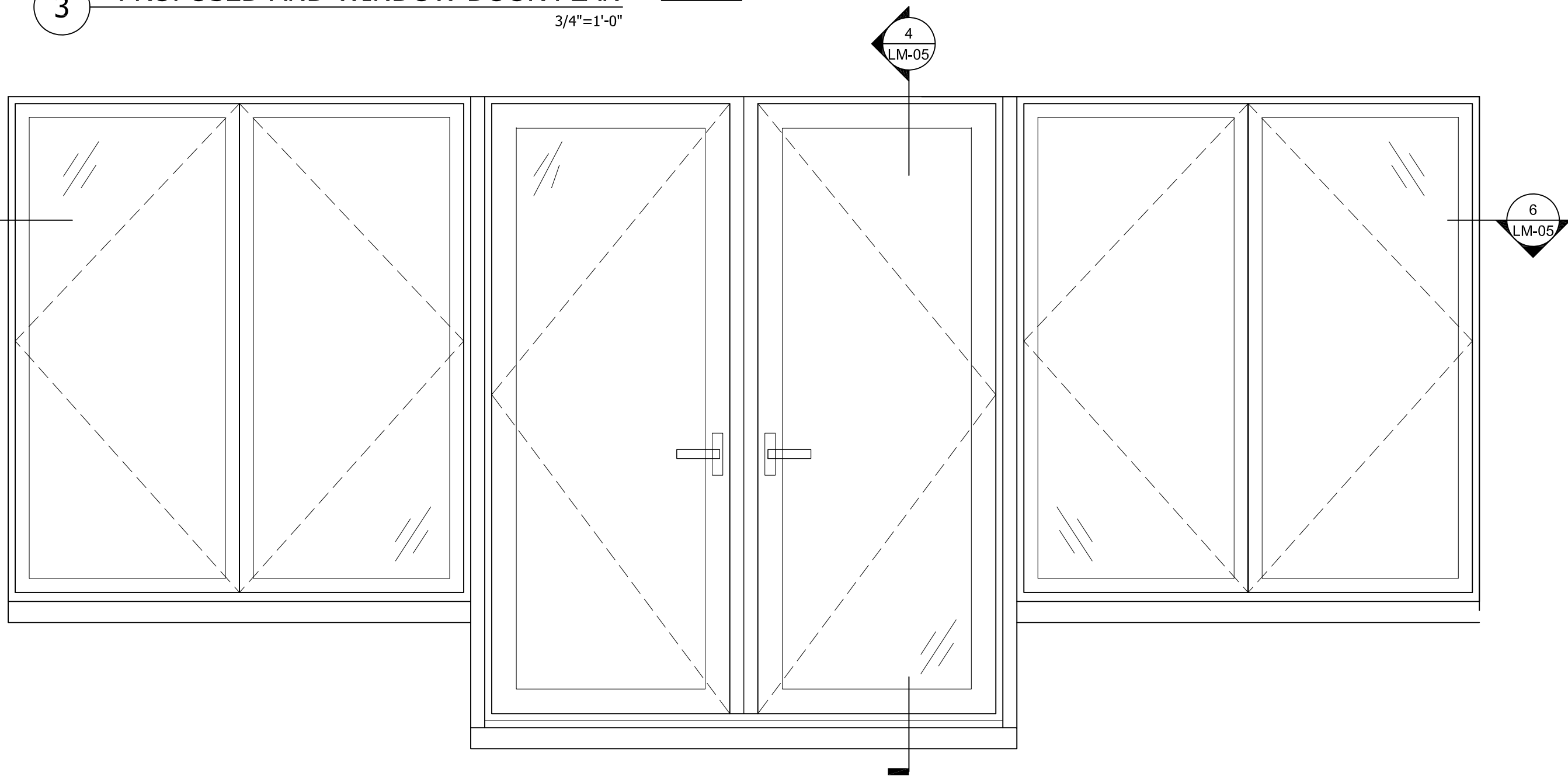
2 PROPOSED REAR PARLOR ELEV.
3/4"= 1'-0"



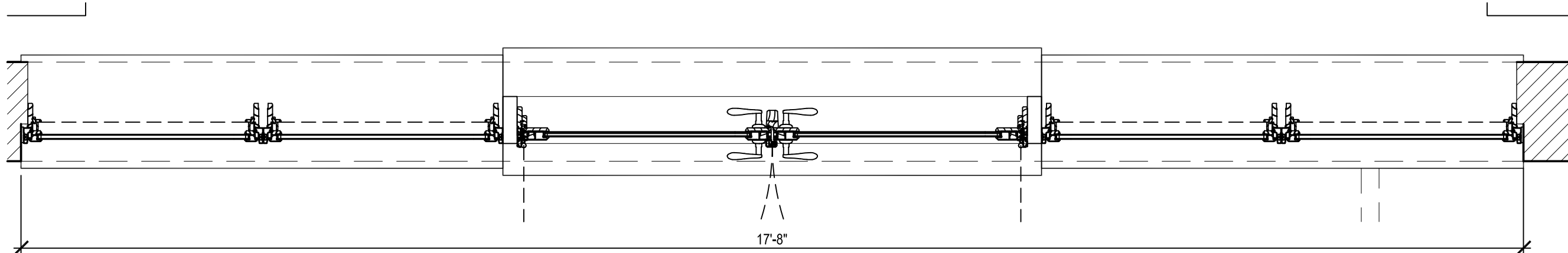
3 PROPOSED AND WINDOW DOOR PLAN
3/4"=1'-0"



4 PROPOSED SECT.
3/4"= 1'-0"



5 PROPOSED REAR PARLOR ELEV.
3/4"= 1'-0"



6 PROPOSED AND WINDOW DOOR PLAN
3/4"=1'-0"



7 EXISTING REAR FACADE



8 EXISTING SECOND AND THIRD FLOOR REAR FACADE



9 EXISTING BASEMENT & FIRST FL. REAR FACADE

NOTE: ALL EXISTING
DIMENSIONS TO BE
VERIFIED IN FIELD

SHEET NOTES:

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EXISTING AND
PROPOSED REAR
WINDOWS

ISSUE	DATE
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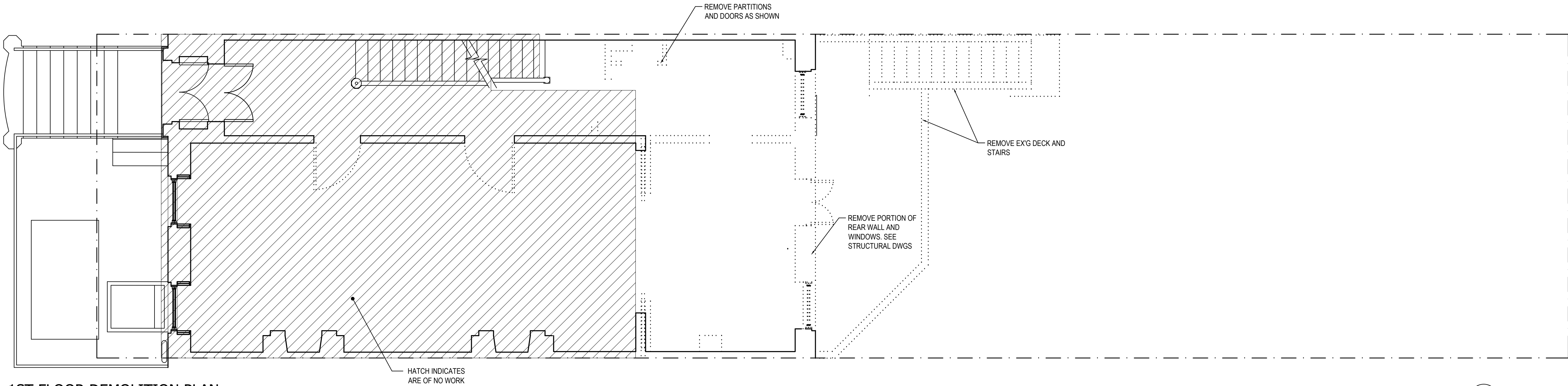
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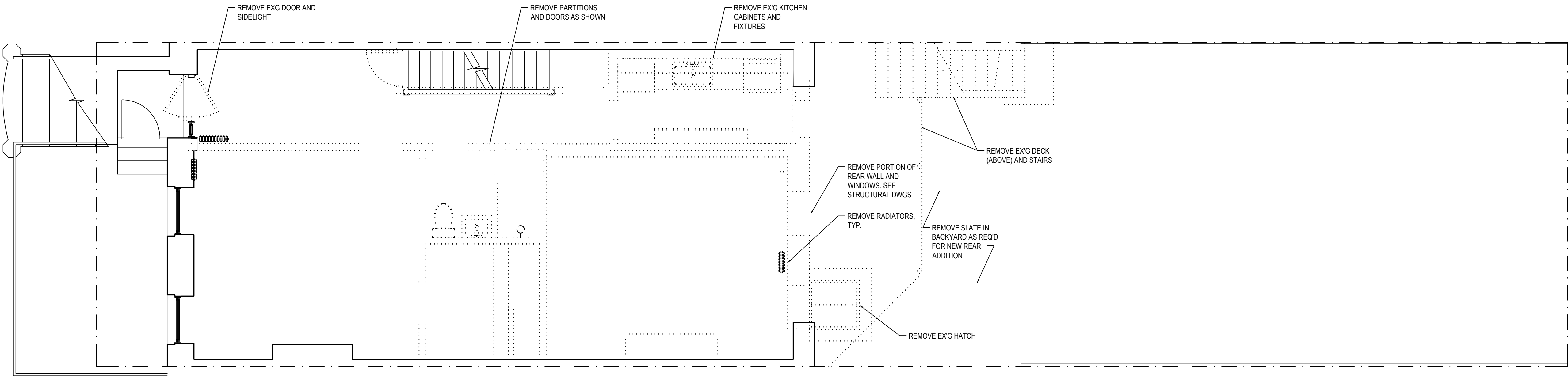
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5 OF 5



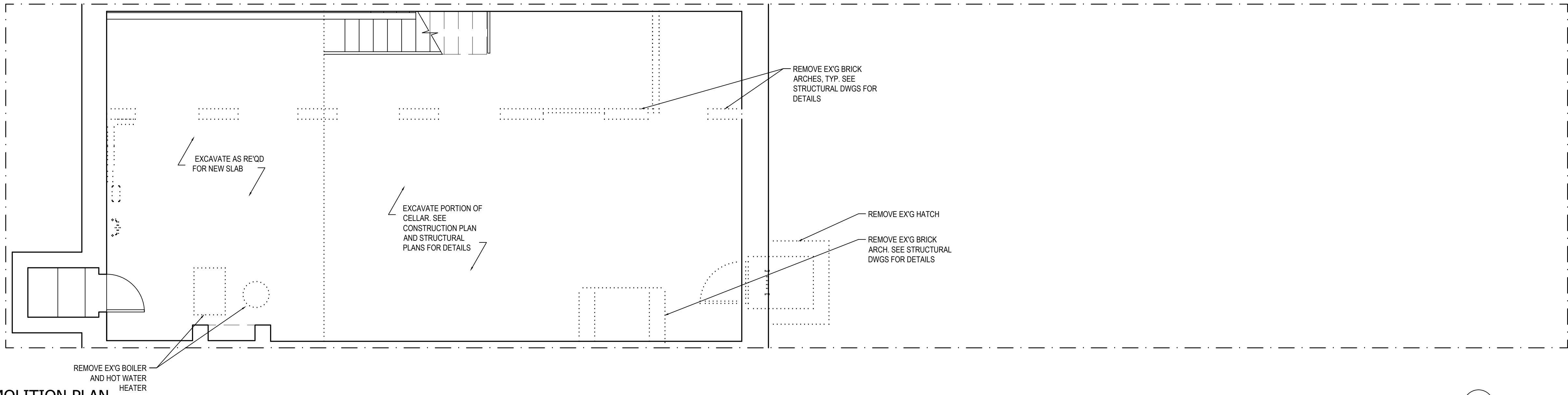
3 1ST FLOOR DEMOLITION PLAN

1/4" = 1'-0" N



2 BASEMENT DEMOLITION PLAN

1/4" = 1'-0" N



1 CELLAR DEMOLITION PLAN

1/4" = 1'-0" N

DEMOLITION LEGEND

TO BE DEMOLISHED

EXISTING WALL

NEW WALL

NEW WALL, PARTIAL HEIGHT

LIVING ROOM

ROOM TAG

X

REVISION TAG

5
A-XX

SECTION TAG

1
A-X
2
3
4

ELEVATION TAG

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.

2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY WITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF ARTICLE 19 OF THE NYC BUILDING CODE.

6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.

7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

SHEET NOTES:

ARCHITECT OF RECORD:

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Brooklyn, NY 11215
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PROJECT:

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DRAWING TITLE

DEMOLITION PLANS:
CELLAR, BASEMENT,
AND 1ST FLOORS

ISSUE

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SEAL & SIGNATURE



PROJECT #

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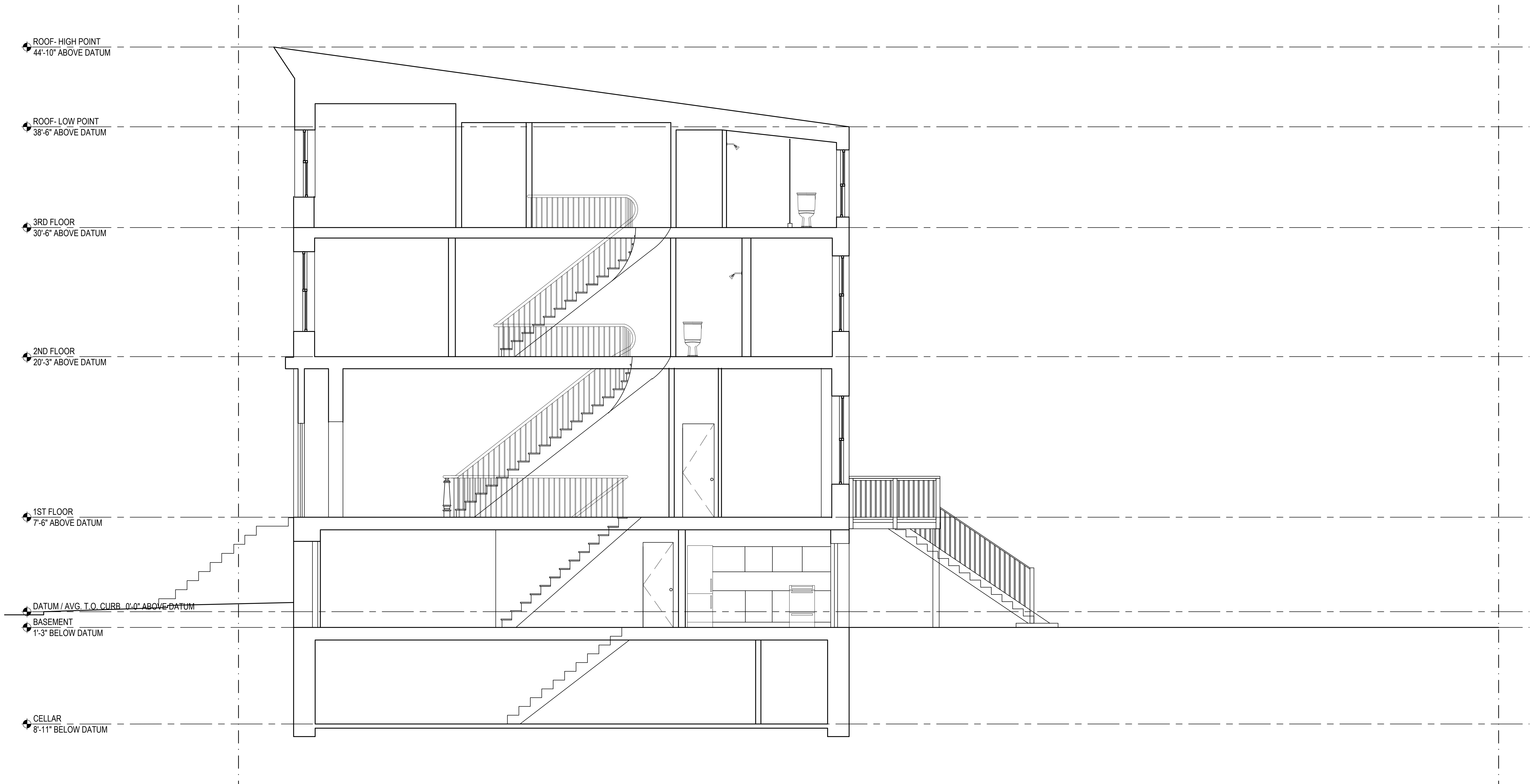
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SHEET

03 OF 13



1 EXISTING BUILDING SECTION

1/4" = 1'-0"

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SHEET NOTES:

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EXISTING BUILDING
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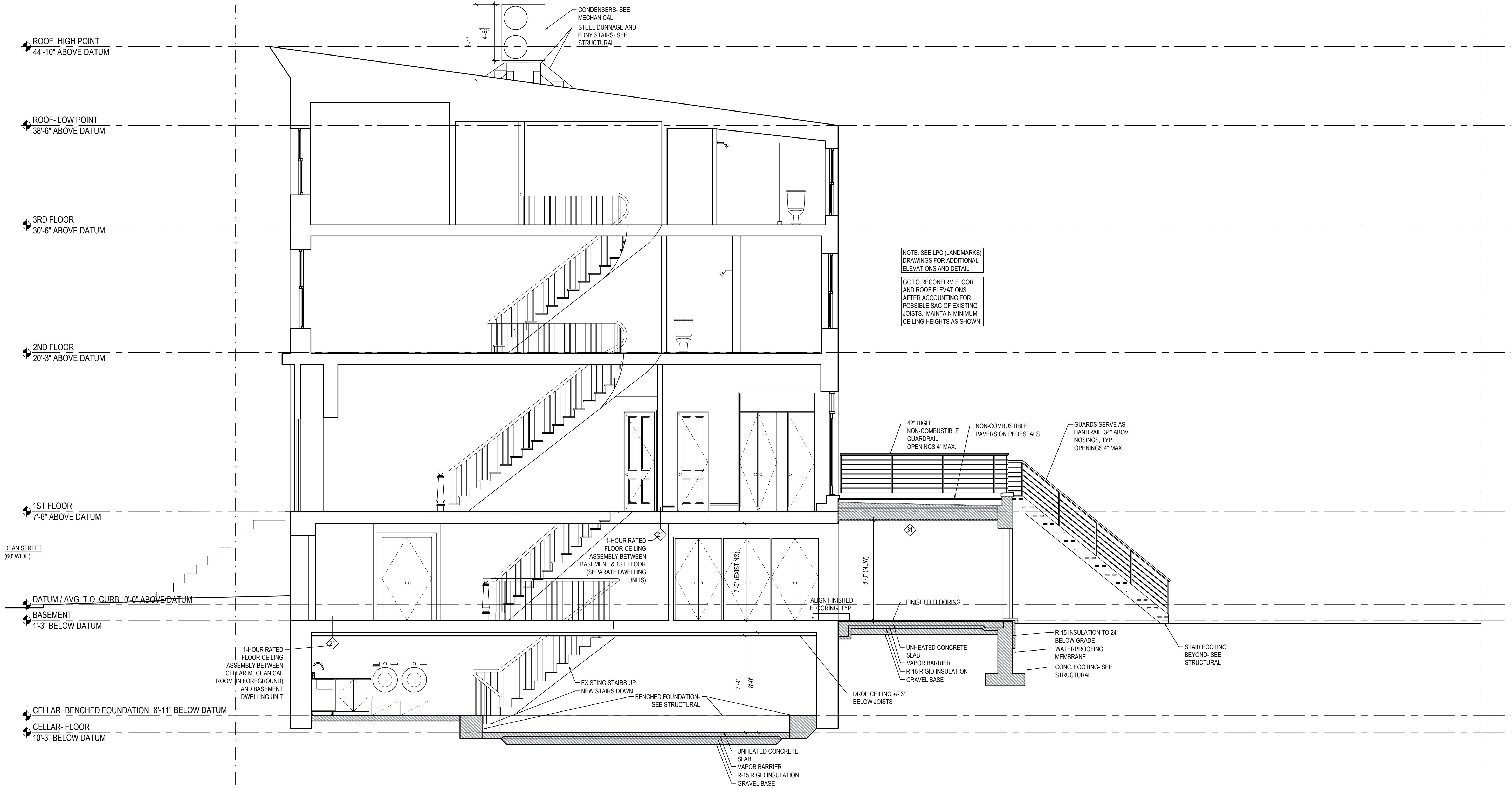
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DATE

10-21-25

SHEET

09 OF 13



1 PROPOSED BUILDING SECTION

1/4" = 1'-0"

SHEET NOTES:

ARCHITECT OF RECORD:

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PROPOSED BUILDING SECTION

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PROJECT #

DRAWING #

267

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DATE

SHEET

10-21-25

10 OF 13



1 EXISTING TO REMAIN FRONT ELEVATION
1/4" = 1'-0"

2 EXISTING REAR ELEVATION
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION
1/4" = 1'-0"

SHEET NOTES:

ARCHITECT OF RECORD:

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DRAWING TITLE

EXISTING &
PROPOSED EXTERIOR
ELEVATIONS

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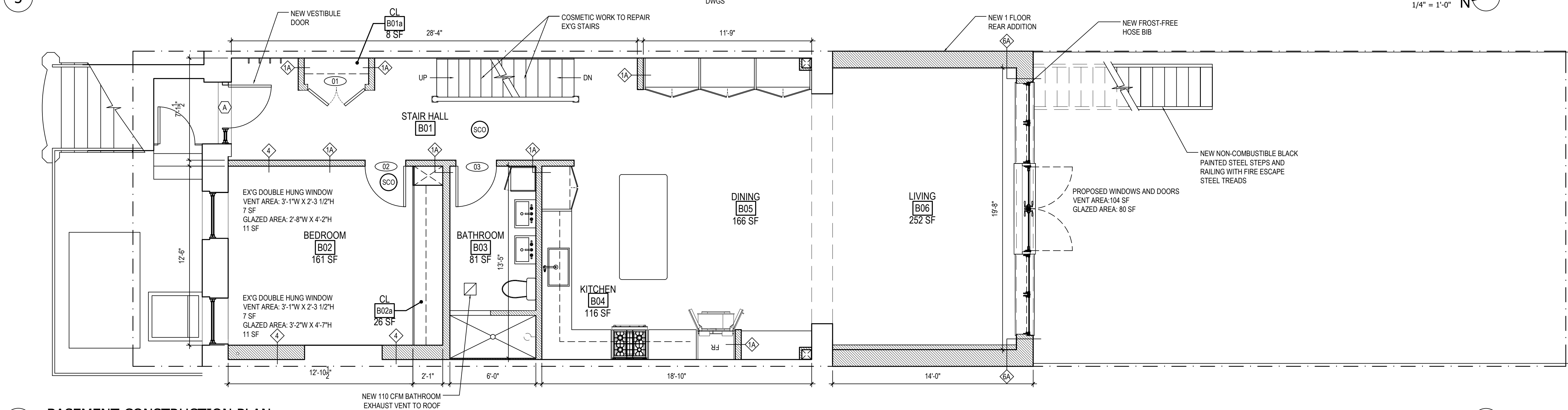
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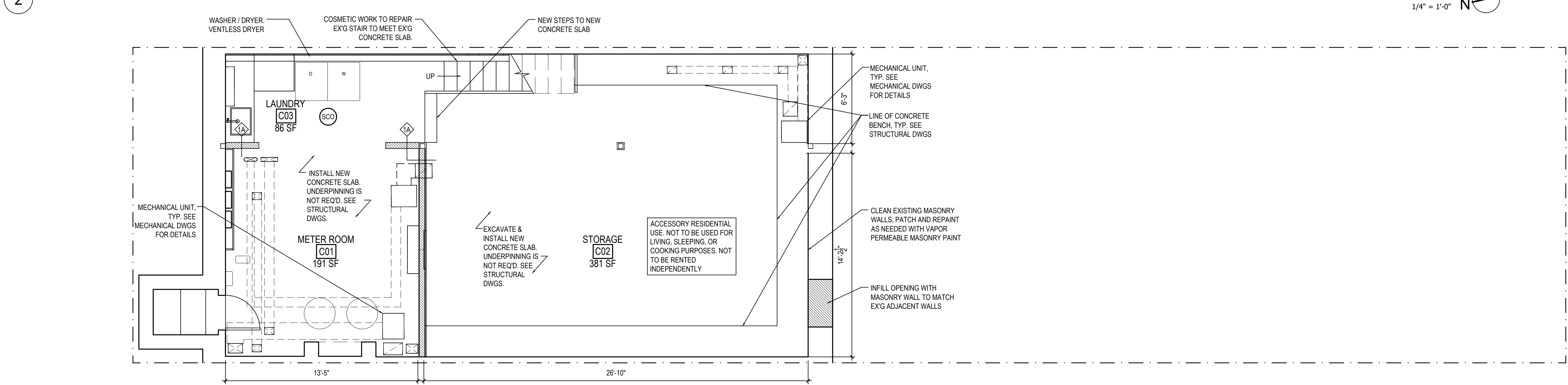
SHEET

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3 1ST FLOOR CONSTRUCTION PLAN



2 BASEMENT CONSTRUCTION PLAN



1 CELLAR CONSTRUCTION PLAN



CONSTRUCTION LEGEND

- EXISTING WALL
- NEW NON-RATED WALL
- NEW 2 HOUR RATED WALL
- NEW DOOR
- CEILING EXHAUST FAN
- NEW DOOR NUMBER
- NEW EXTERIOR WINDOW/DOOR NUMBER
- PARTITION WALL TYPE
- ROOM TAG
- SECTION TAG
- ELEVATION TAG
- REVISION TAG
- SMOKE AND CARBON MONOXIDE DETECTOR UL-LISTED HARDWIRED, INTERCONNECTED
- FLOOR DRAIN
- AREA OF NO WORK
- FDNY CLEAR PATH

CONSTRUCTION NOTES

- PROVIDE JOB SIT PARTITION LAYOUTS FOR REVIEW BY ARCHITECT PRIOR TO ERECTING PARTITIONS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM/GREEN BOARD U.O.N.
- CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR WALL-HUNG MILLWORK AND FIXTURES AS REQUIRED HEREIN.
- INSTALL GREENBOARD AT ALL WET LOCATIONS, EXCEPT CEMENT BOARD IN SHOWERS AND AT TUB ALCOVES
- ALL INTERIOR PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION/ROOF ABOVE U.O.N. COORDINATE WITH MECHANICAL AND PLUMBING FOR DUCT AND PIPING ROUTES.
- INSTALL LATI-CRETE WATERPROOFING EXTENDING A MINIMUM OF 8" UP-WALL AT ALL WET LOCATIONS (INCLUDING LAUNDRY ROOMS AND PANTRIES).
- ALL EXPOSED WOOD EDGES TO BE EASED.
- CONTRACTOR TO FILL VOIDS SOLID AT ABANDONED CHASES IN BRICK WALLS U.O.N. CONFIRM WITH ARCHITECT.

SHEET NOTES:

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DRAWING TITLE

CONSTRUCTION
PLANS: CELLAR,
BASEMENT, AND 1ST
FLOORS

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05 OF 13

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Borough of Brooklyn**

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