

**January 27, 2026**  
Public Hearing

**The current proposal is:**

**Preservation Department – Item 2, LPC-26-05098**

**164 Dean Street – Boerum Hill Historic District  
Borough of Brooklyn**

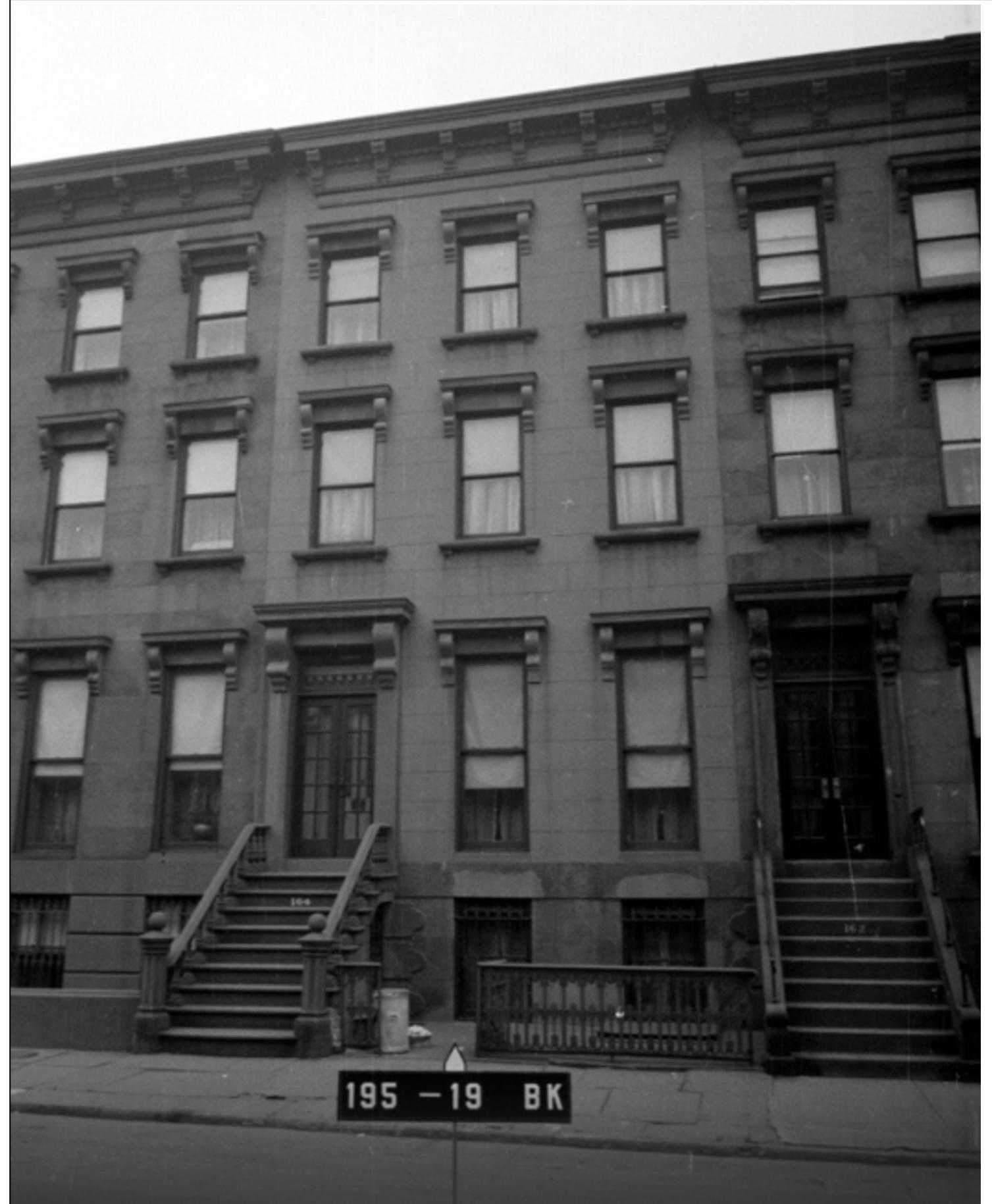
**To testify virtually, please join Zoom**

**Webinar ID: 160 174 1093**

**Passcode: 555175**

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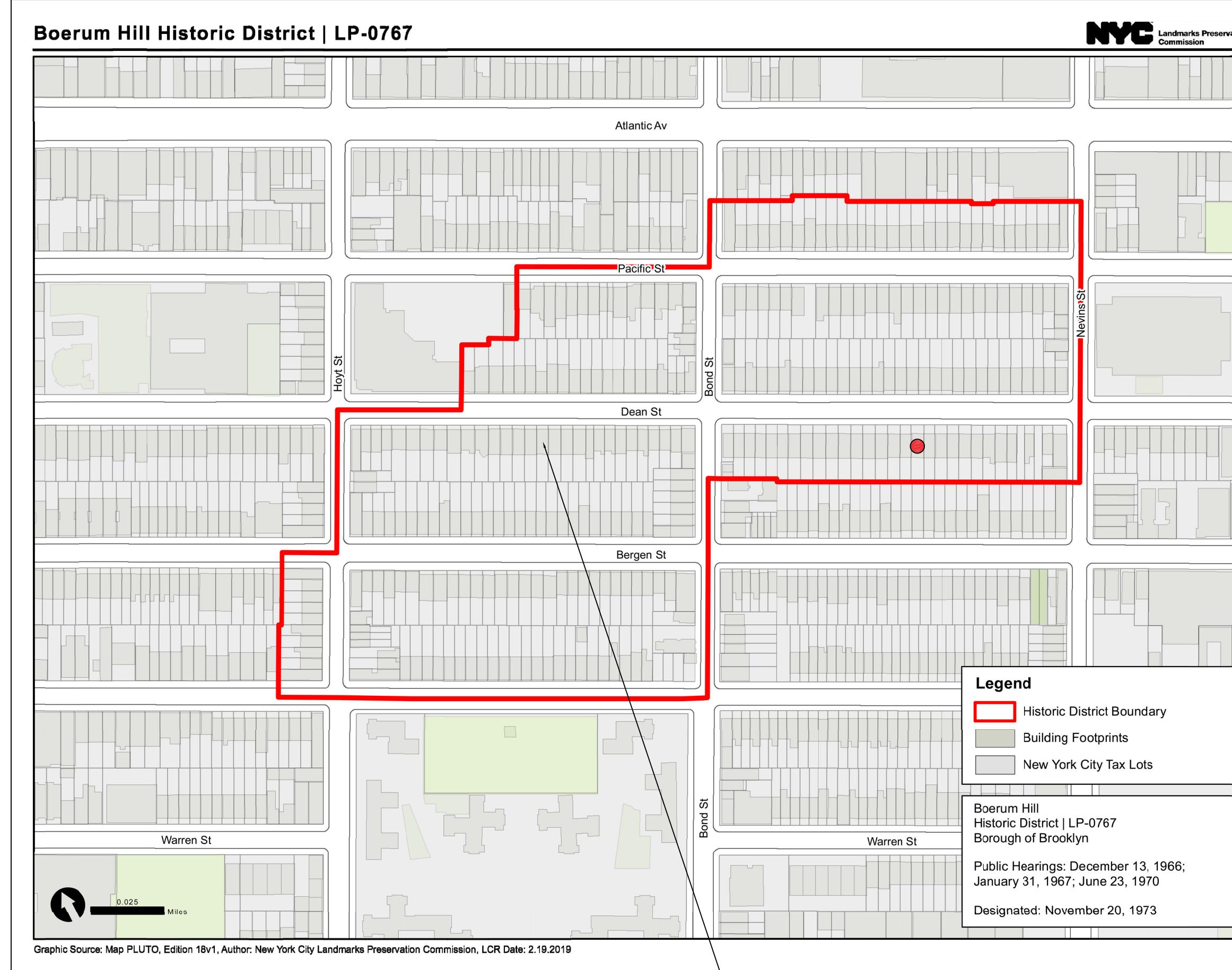
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1 CA. 1940 TAX PHOTO OF SUBJECT BUILDING N.T.



2 CURRENT PHOTO OF SUBJECT BUILDING N.T.S.



## 3 HISTORIC DISTRICT BOUNDARY



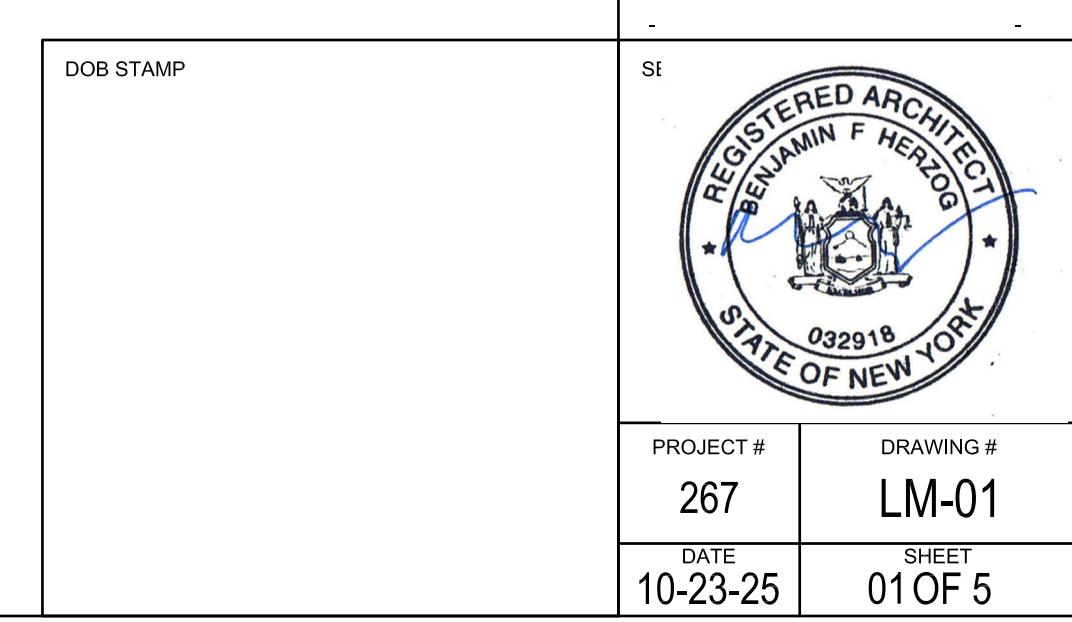
## 4 BLOCK PLAN

# RENOVATION OF 164 DEAN STREET BROOKLYN, NEW YORK 11217



## DRAWING INDEX

- LM-01 TAX PHOTOS AND BLOCK PLAN
- LM-02 BLOCK PLAN
- LM-03 MECHANICAL SIGHTLINE PHOTOS & DIAGRAM
- LM-04 EXISTING AND PROPOSED REAR EXTERIOR ELEVATIONS & REAR FACADE PHOTOS
- LM-05 EXISTING AND PROPOSED REAR WINDOWS



**SHEET NOTES:**

SHEET NOTES:

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**Ben Herzog Architect, PC**  
247 Prospect Avenue, 2nd Floor  
Brooklyn, NY 11215  
Phone: (347) 410-5860

---

PROJECT:

**CORDEN-LAKE-D'SOUZA**  
**RESIDENCE**

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164 Dean Street  
Brooklyn, NY 11217

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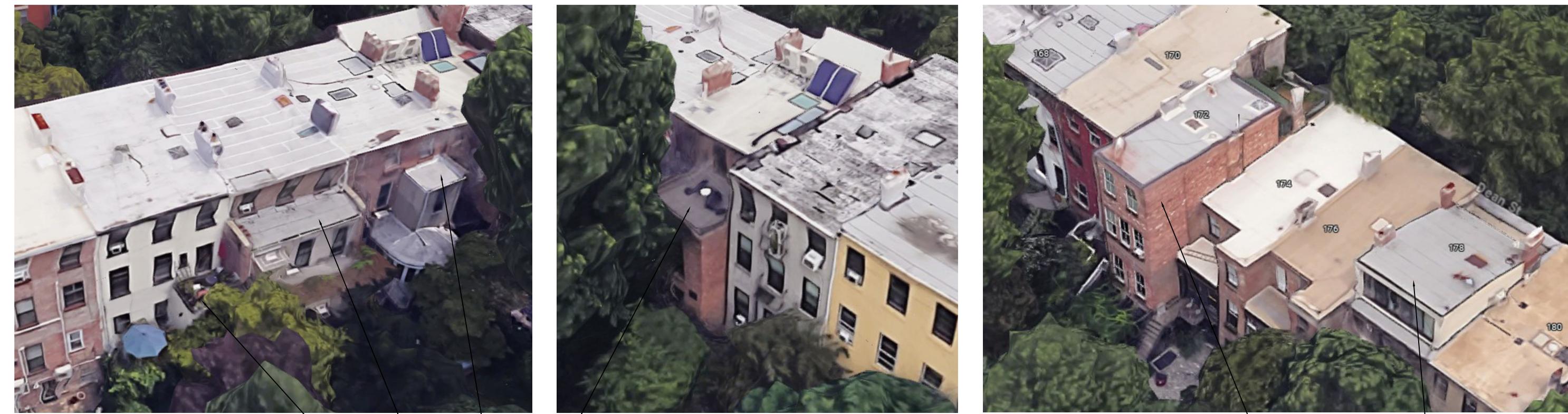
# AX PHOTOS, BLOCK PLAN, & SCOPE DIAGRAM

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ISSUE DATE

Fig. 1. A photograph of the head of a *Leucostethus* female.

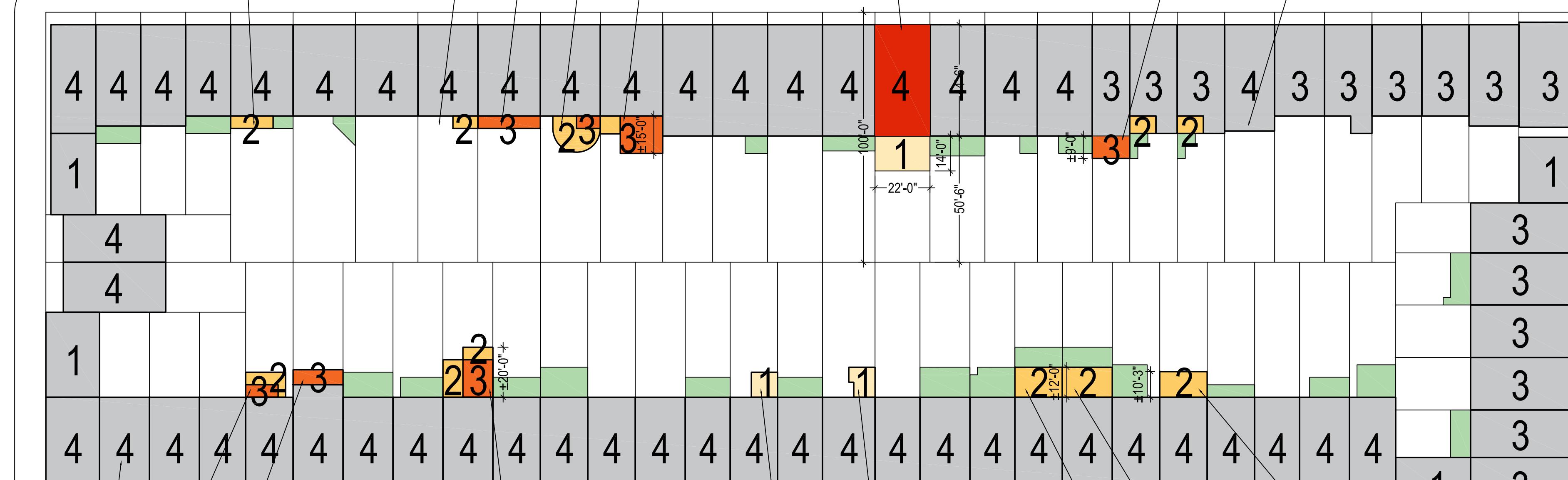
PROJECT #	DRAWING #
267	LM-01
DATE	SHEET
0-23-25	01 OF 5



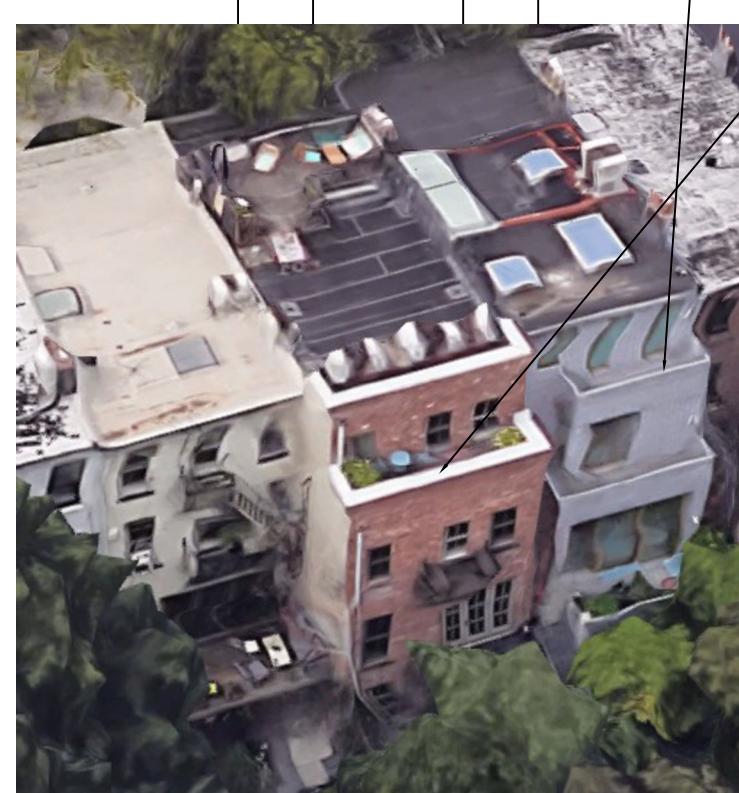
142 DEAN 2 STORY ADDITION  
148 DEAN 2 STORY ADDITION  
150 DEAN 3 STORY ADDITION  
152 DEAN 3 STORY ADDITION  
154 DEAN 3 STORY ADDITION  
BACK OF 164 DEAN IS NOT VISIBLE FROM PUBLIC WAY

172 DEAN 3 STORY ADDITION  
178 DEAN 1 STORY VERTICAL ADDITION

DEAN STREET  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY 11217



NUMBERS INDICATE HEIGHTS  
OF BUILDINGS IN STORIES



141 BERGEN 3 STORY ADDITION  
143 BERGEN 3 STORY ADDITION

149 BERGEN 3 STORY ADDITION

161 BERGEN 1 STORY ADDITION  
165 BERGEN 1 STORY ADDITION

173 BERGEN 2 STORY ADDITION  
175 BERGEN 2 STORY ADDITION

179 BERGEN 1 STORY RAISED ADDITION

1 BLOCK PLAN

N  
1/64" = 1'-0"

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PROJECT:

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RESIDENCE**  
164 Dean Street  
Brooklyn, NY 11217



1 VIEW 'A'  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY



2 VIEW 'B'  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY



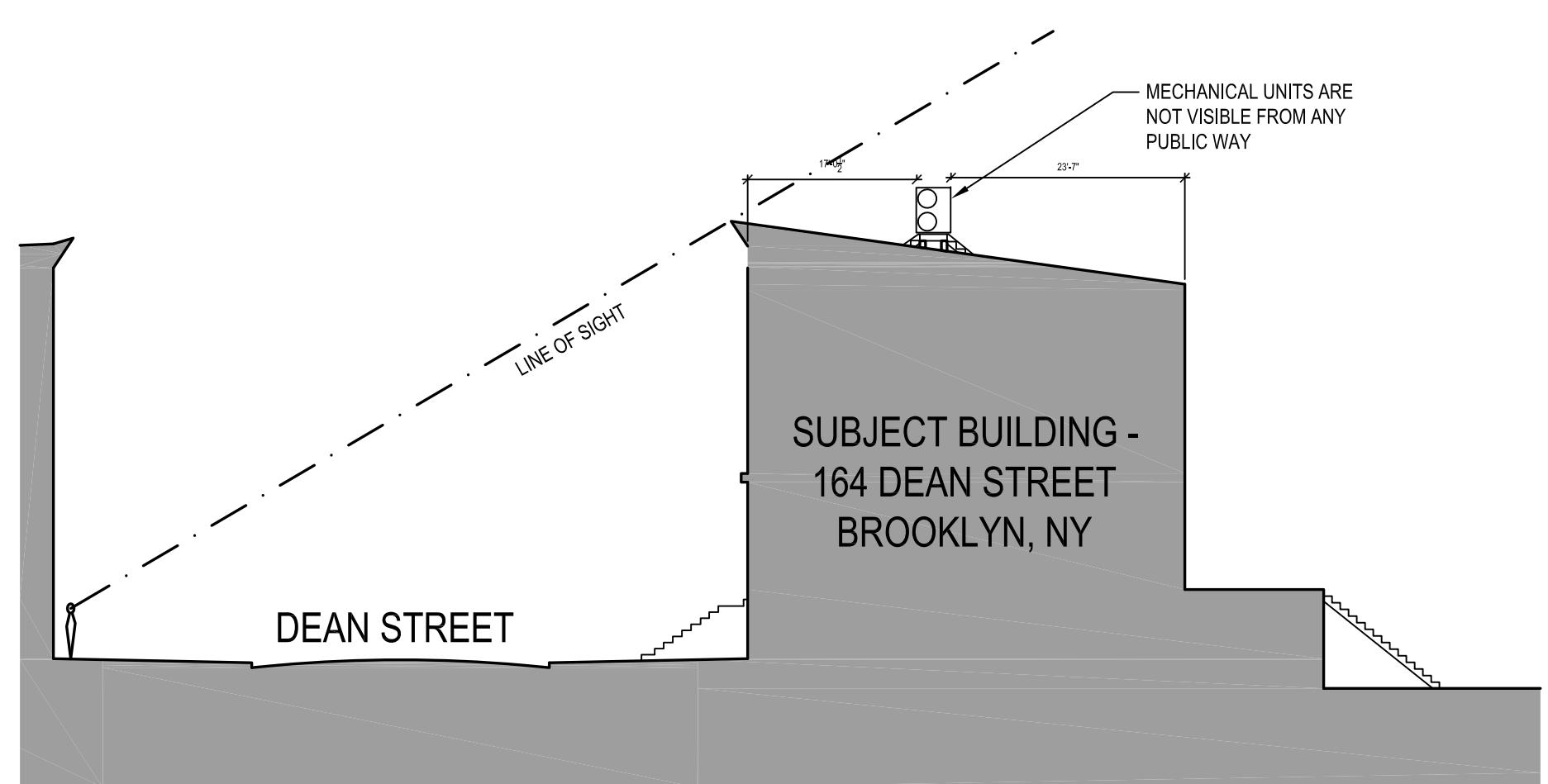
3 VIEW 'C'  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY



4 VIEW 'D'  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY



5 VIEW 'E'  
SUBJECT PROPERTY -  
164 DEAN STREET,  
BROOKLYN, NY

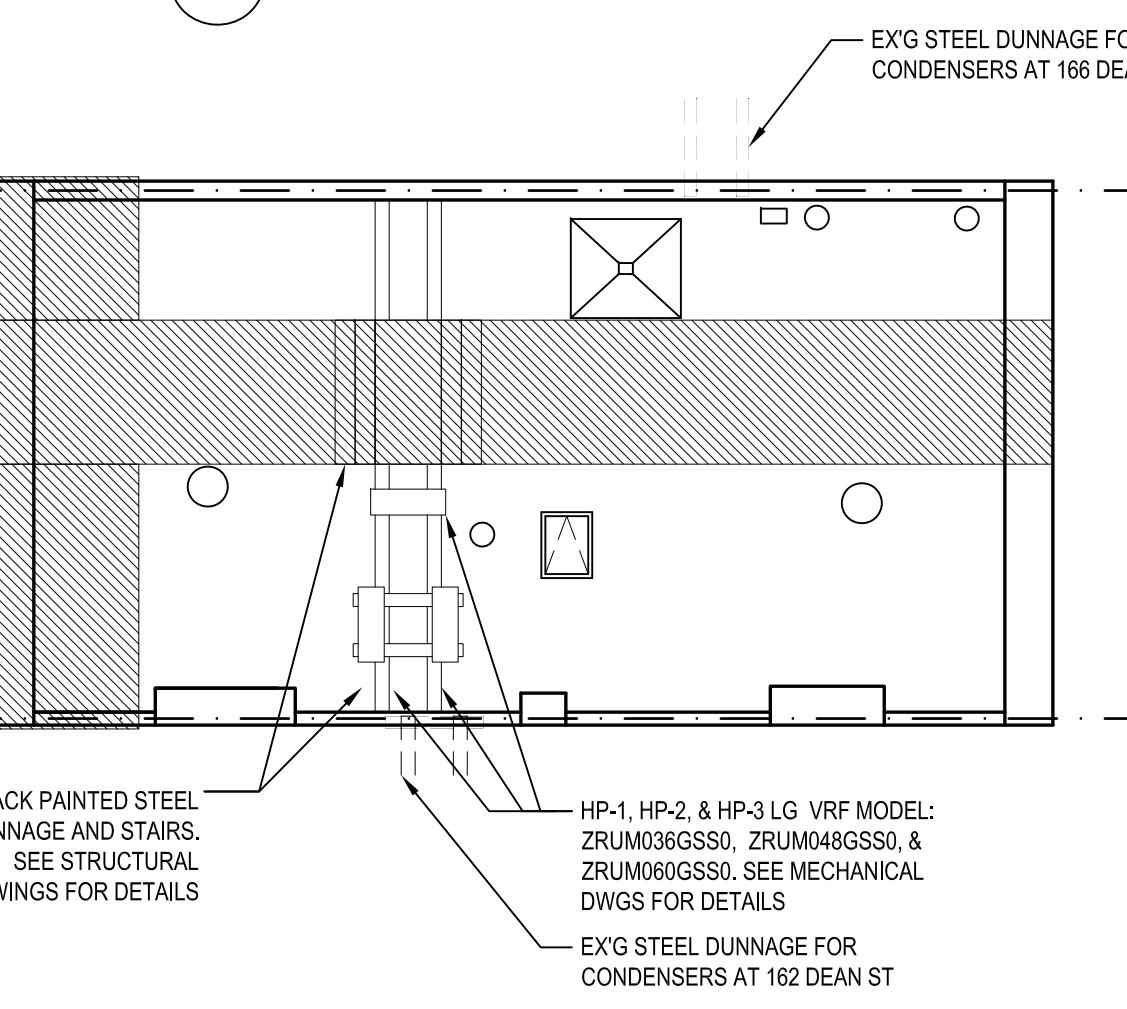


6 VIEW SIGHTLINE SECTION

1/16" = 1'-0"

7 PROPOSED ROOF PLAN

1/8" = 1'-0"



10 ROOFTOP DUNNAGE AT 162 DEAN ST  
NTS

11 ROOFTOP DUNNAGE AT 166 DEAN ST  
NTS

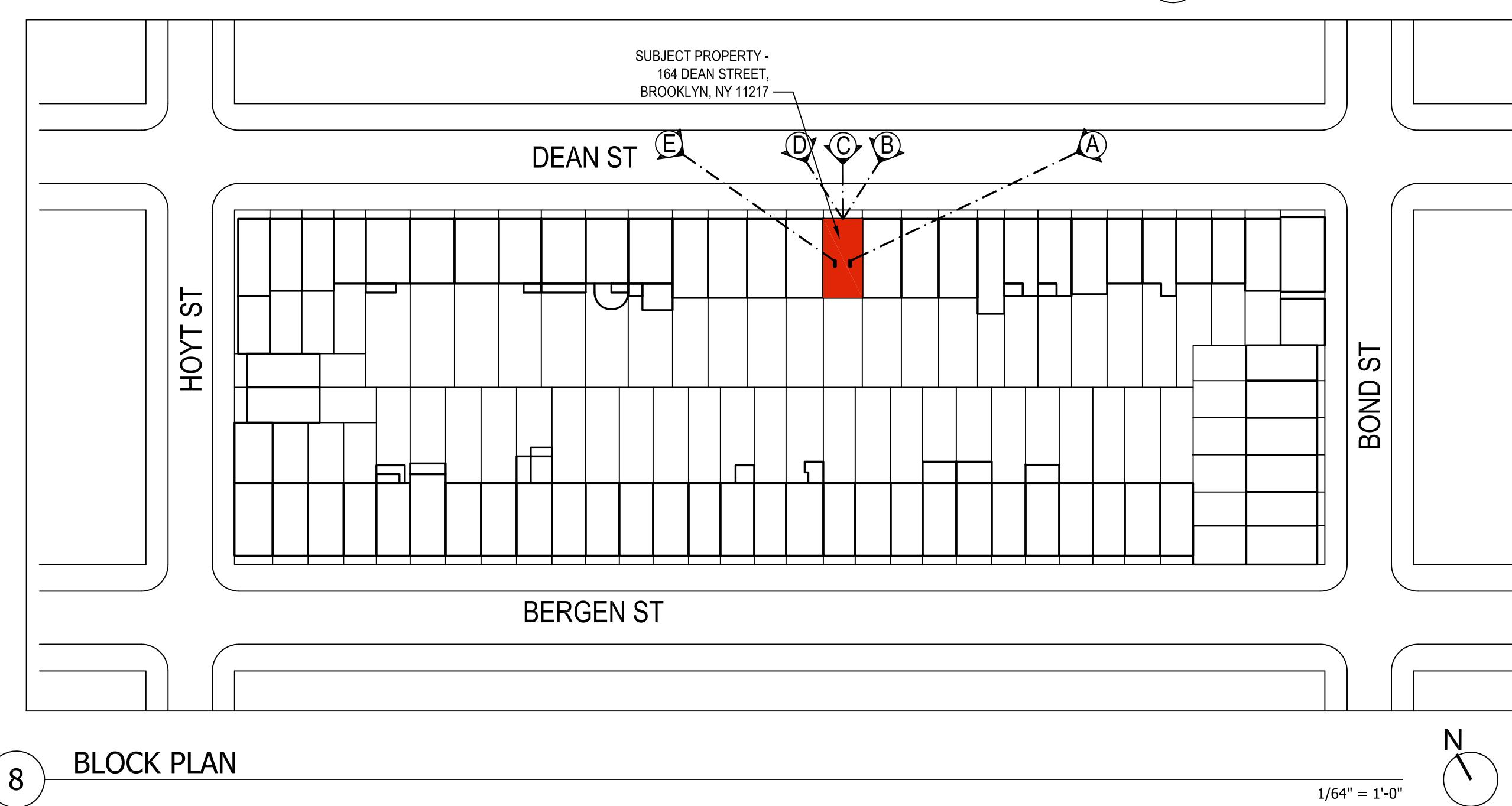
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DRAWING TITLE  
**MECHANICAL  
SIGHTLINE PHOTOS &  
DIAGRAM**

ISSUE DATE  
LPC SUBMITTAL 10/23/25



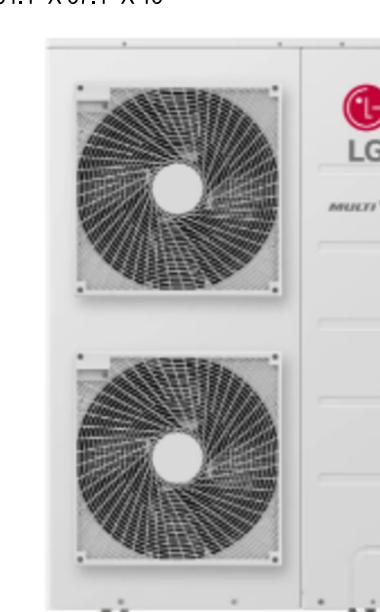
PROJECT # DRAWING #  
267 LM-03  
DATE 10-23-25 SHEET  
03 OF 5



8 BLOCK PLAN

1/64" = 1'-0"

9 CONDENSER SPEC AND PHOTO



DOB STAMP



## 1 EXISTING / PROPOSED FRONT ELEVATION

1/4" = 1

## 2 EXISTING / DEMO REAR ELEVATION

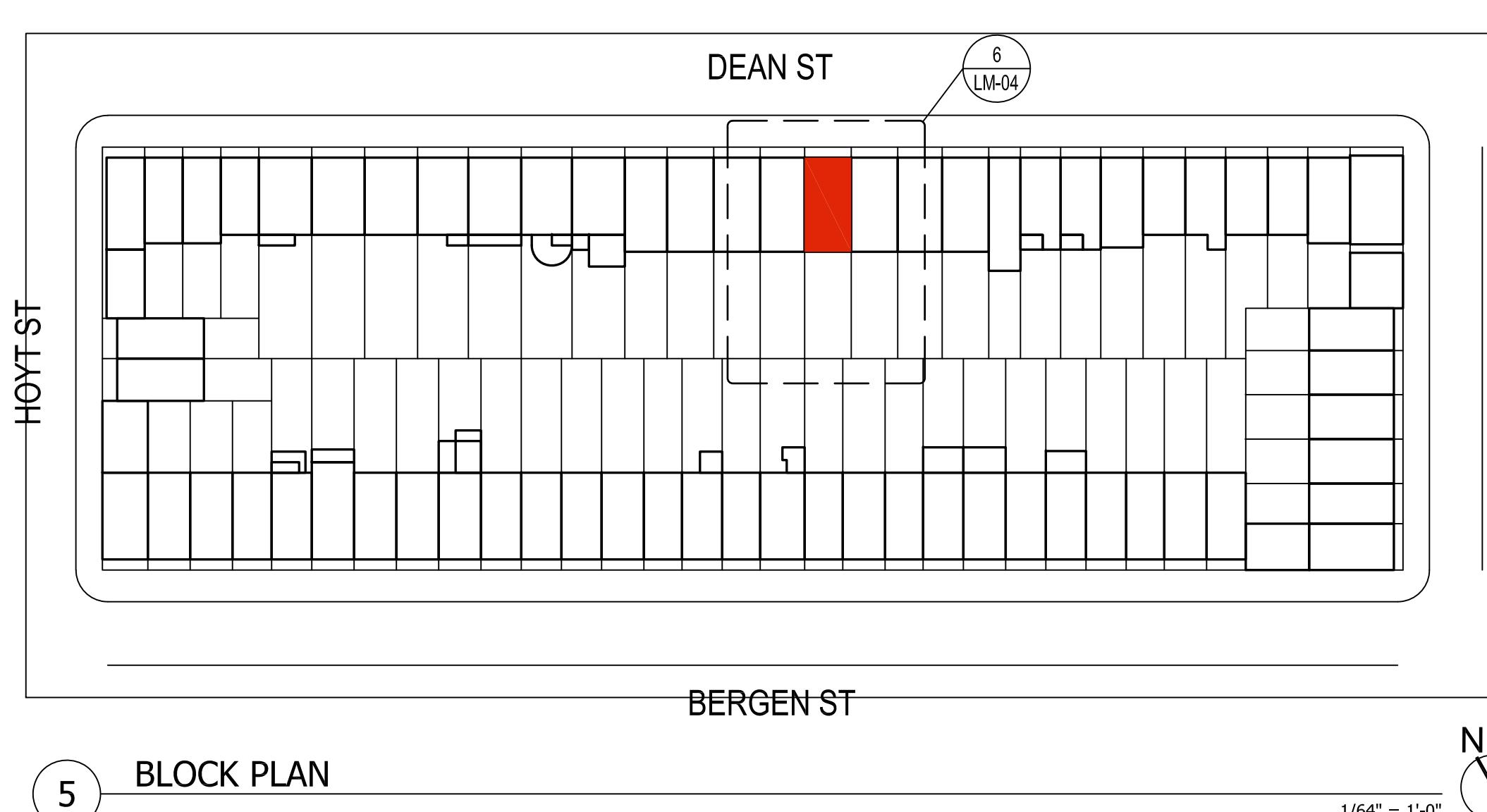
1/4" =

## PROPOSED REAR ELEVATION

1/4'

## PROPOSED REAR ADDITION SIDE ELEVATION

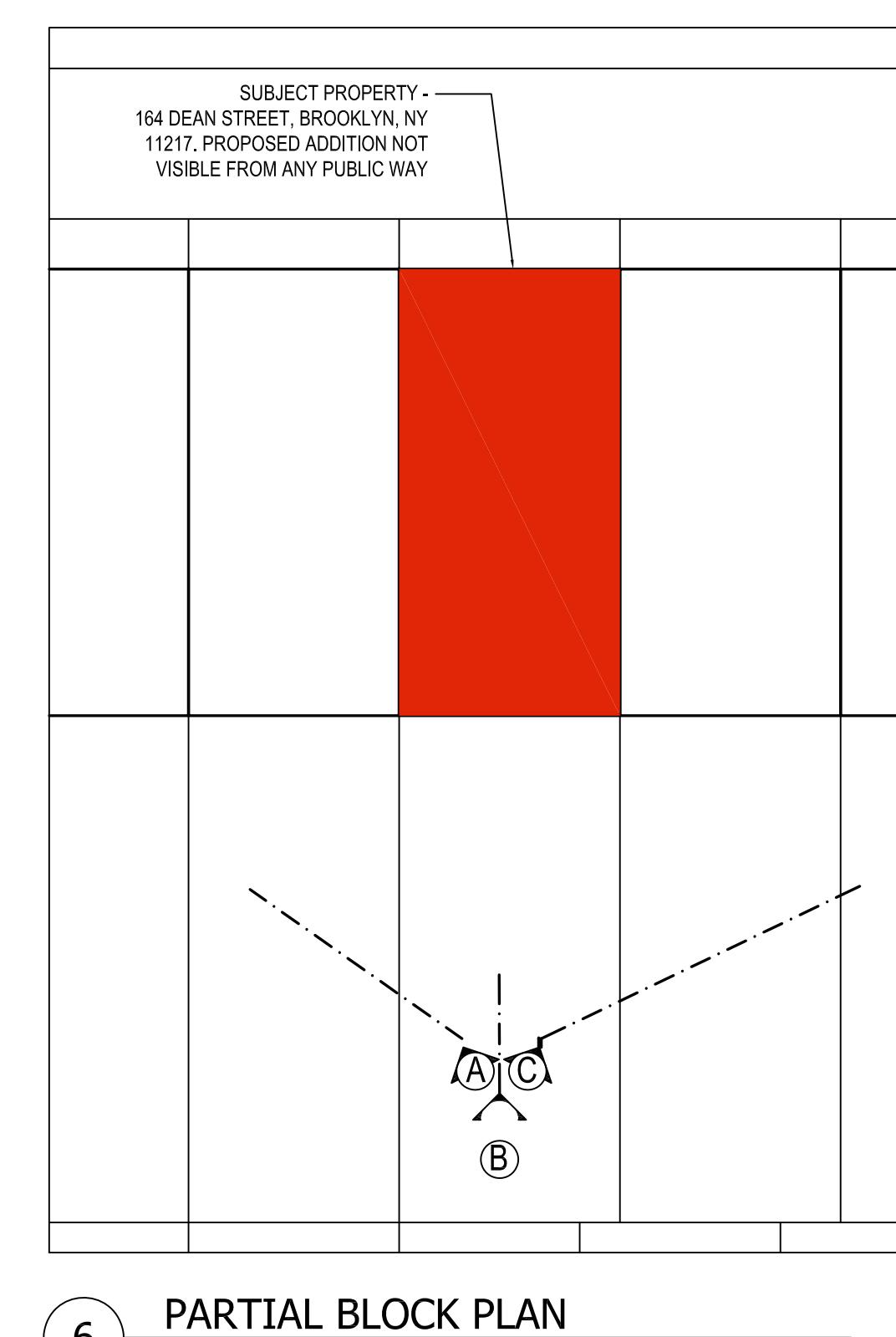
1/4" =



## 5 BLOCK PLAN

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1/64" = 1'-0"



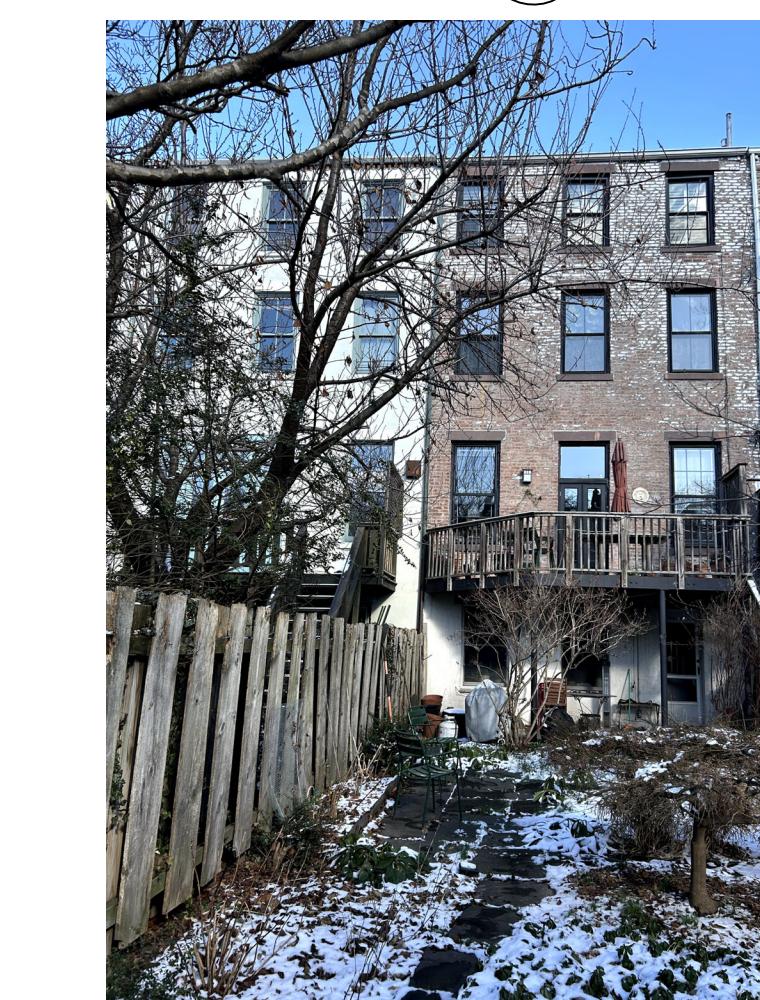
## 6 PARTIAL BLOCK PLAN

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1/16"



## WEST NEIGHBOR, VIEW

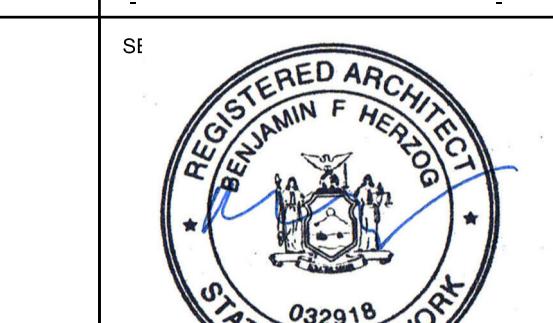


8 164 DEAN REAR FACADE, VIEW 'B'



B' 9 EAST NEIGHBOR, VIEW 'C'

DOB STAMP



1

PROJECT # 607 DRAWING # 1M-64

4

267	LM-04
DATE 6.22.07	SHEET 1/5

1

0-23-25 | 4 OF 5

NOTE: ALL EXISTING  
DIMENSIONS TO BE  
VERIFIED IN FIELD

**CORDEN-LAKE-D'SOUZA  
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164 Dean Street  
Brooklyn, NY 11217

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EXISTING AND  
PROPOSED REAR  
WINDOWS

LPC SUBMITTAL 10/23/25

DOB STAMP

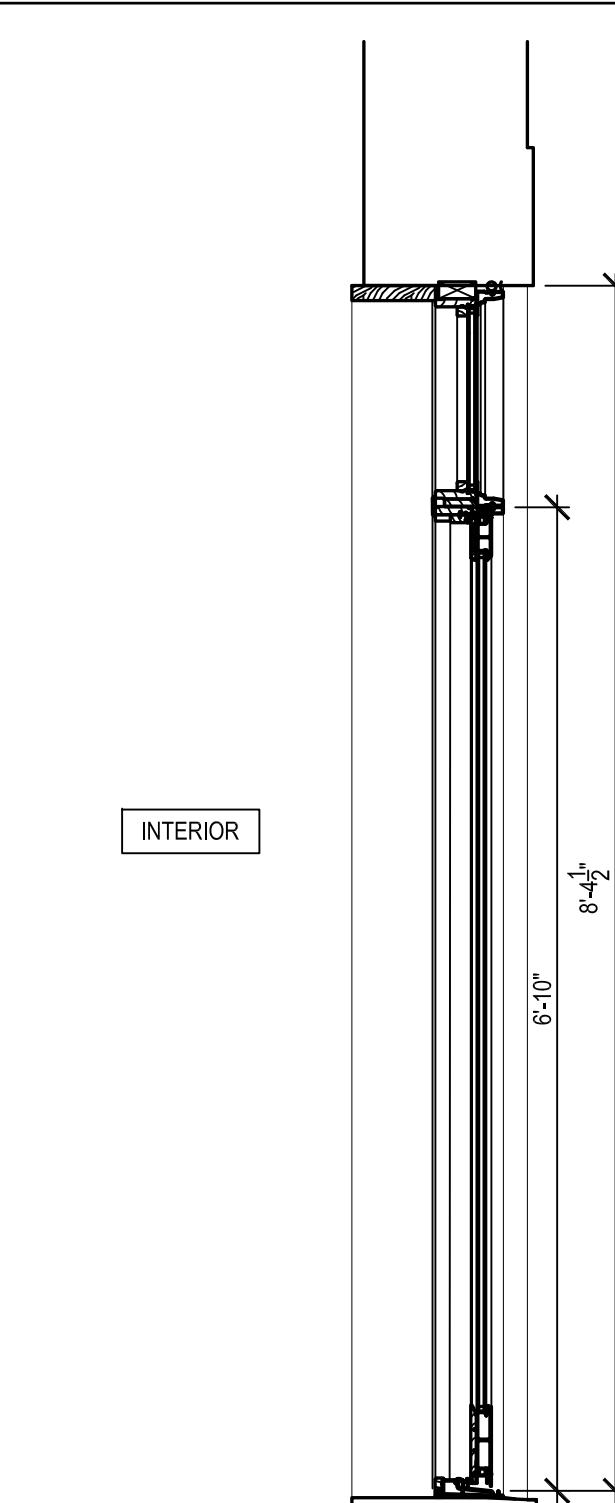


267

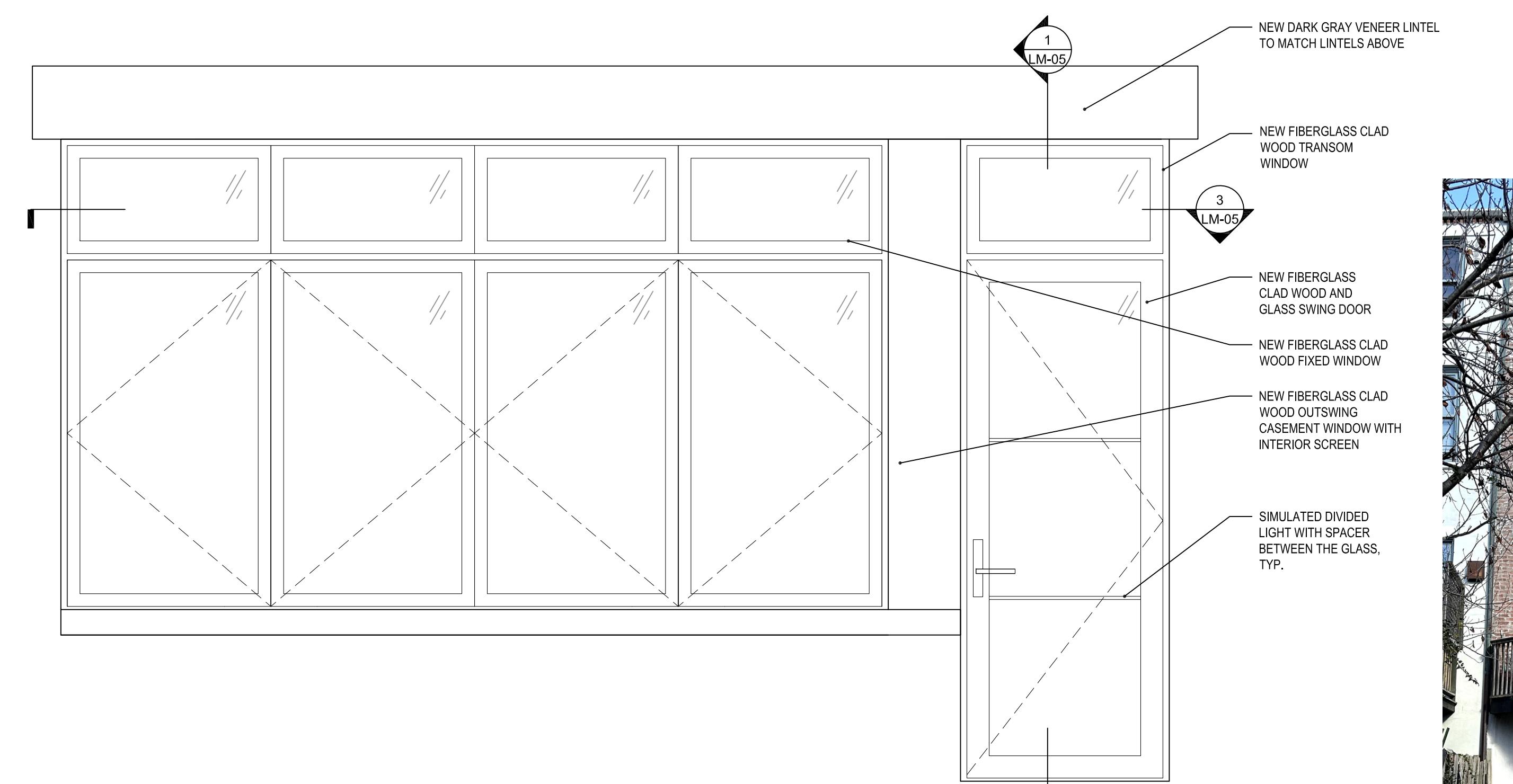
LM-05

10-23-25

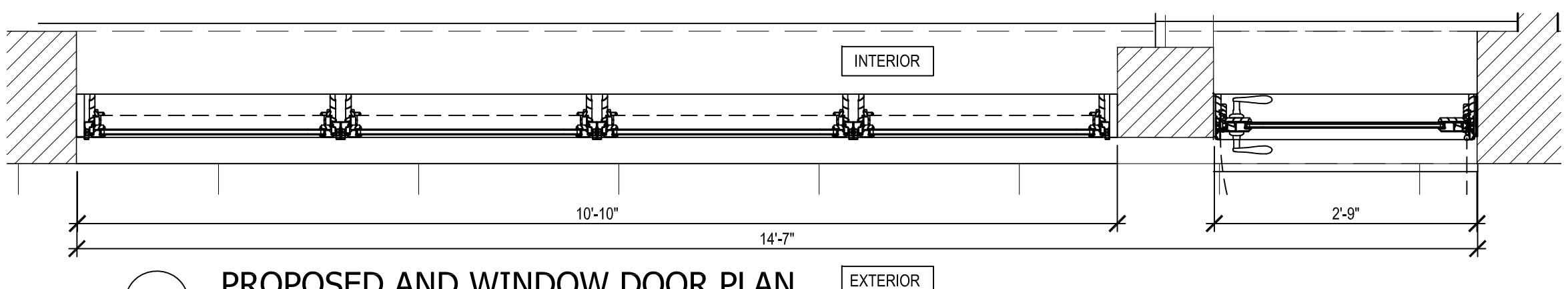
5 OF 5



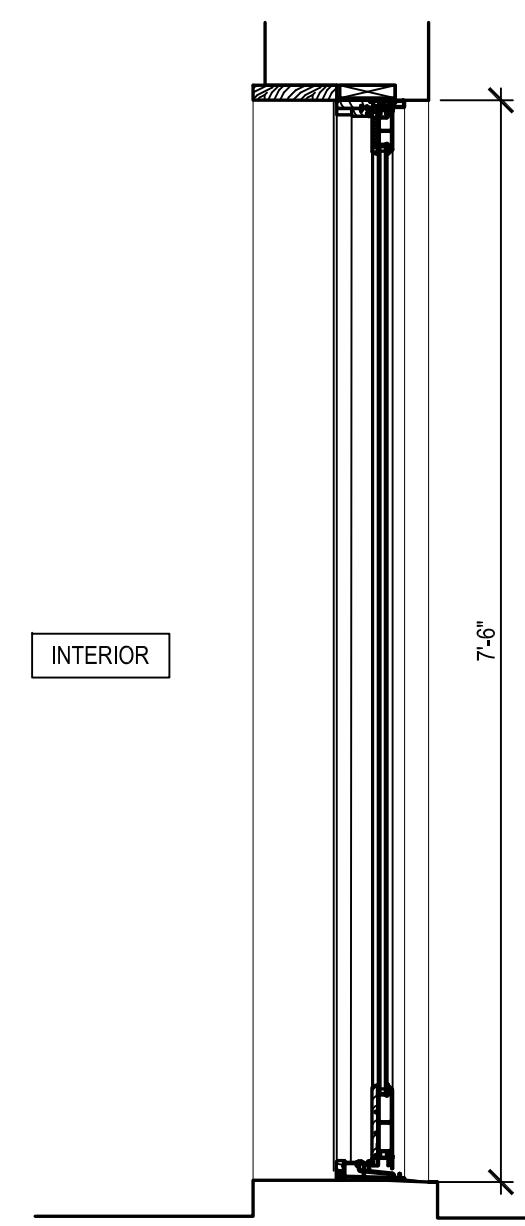
1 PROPOSED SECT.  
3/4" = 1'-0"



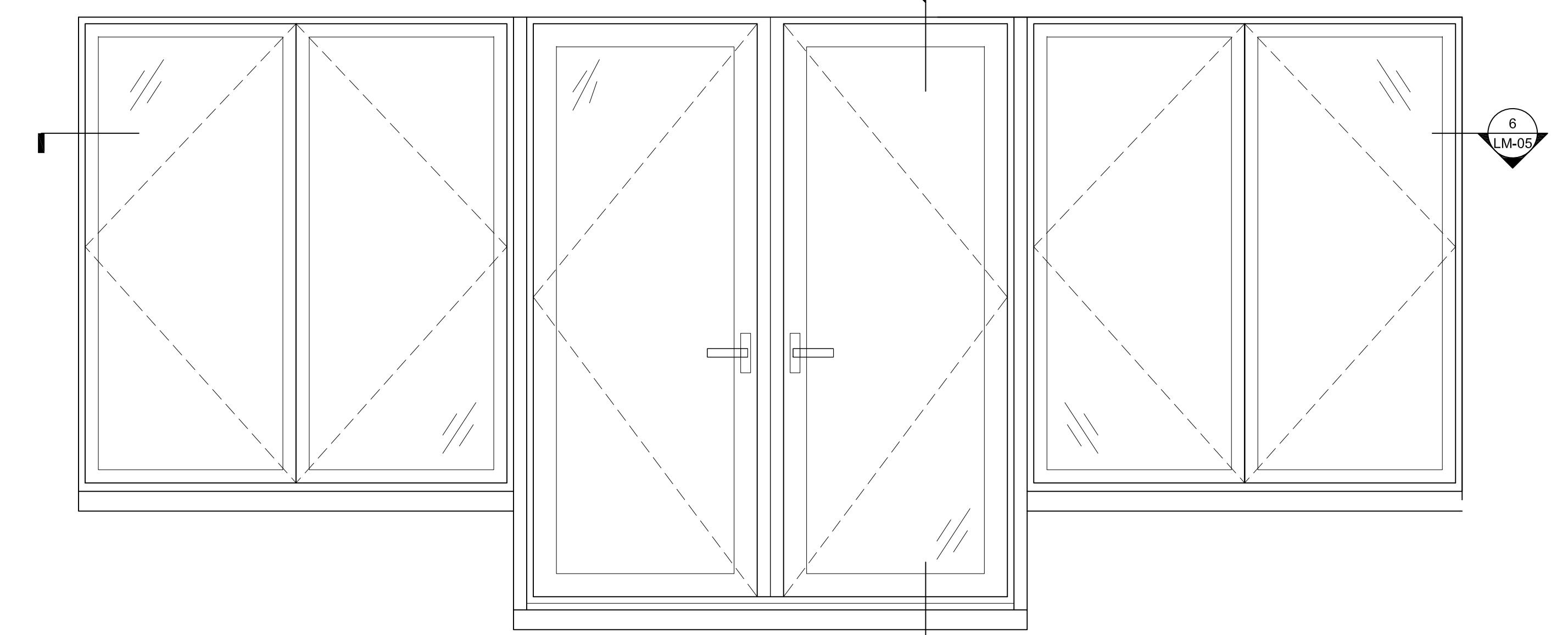
2 PROPOSED REAR PARLOR ELEV.  
3/4" = 1'-0"



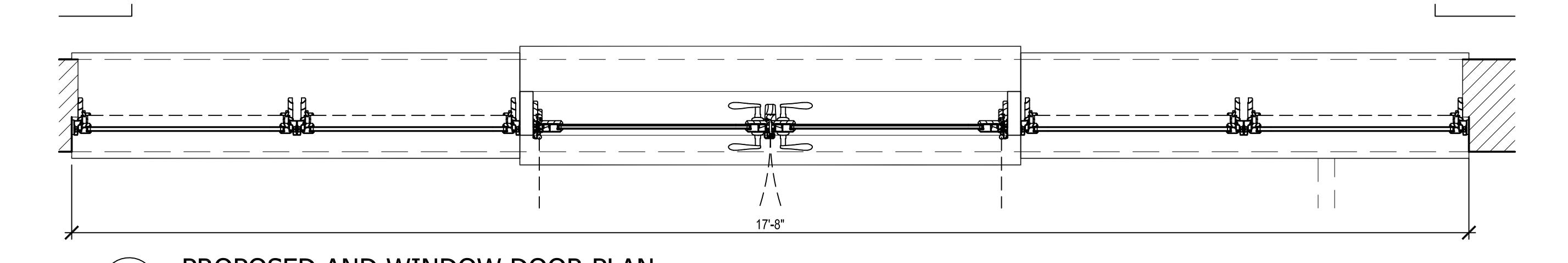
3 PROPOSED AND WINDOW DOOR PLAN  
3/4" = 1'-0"



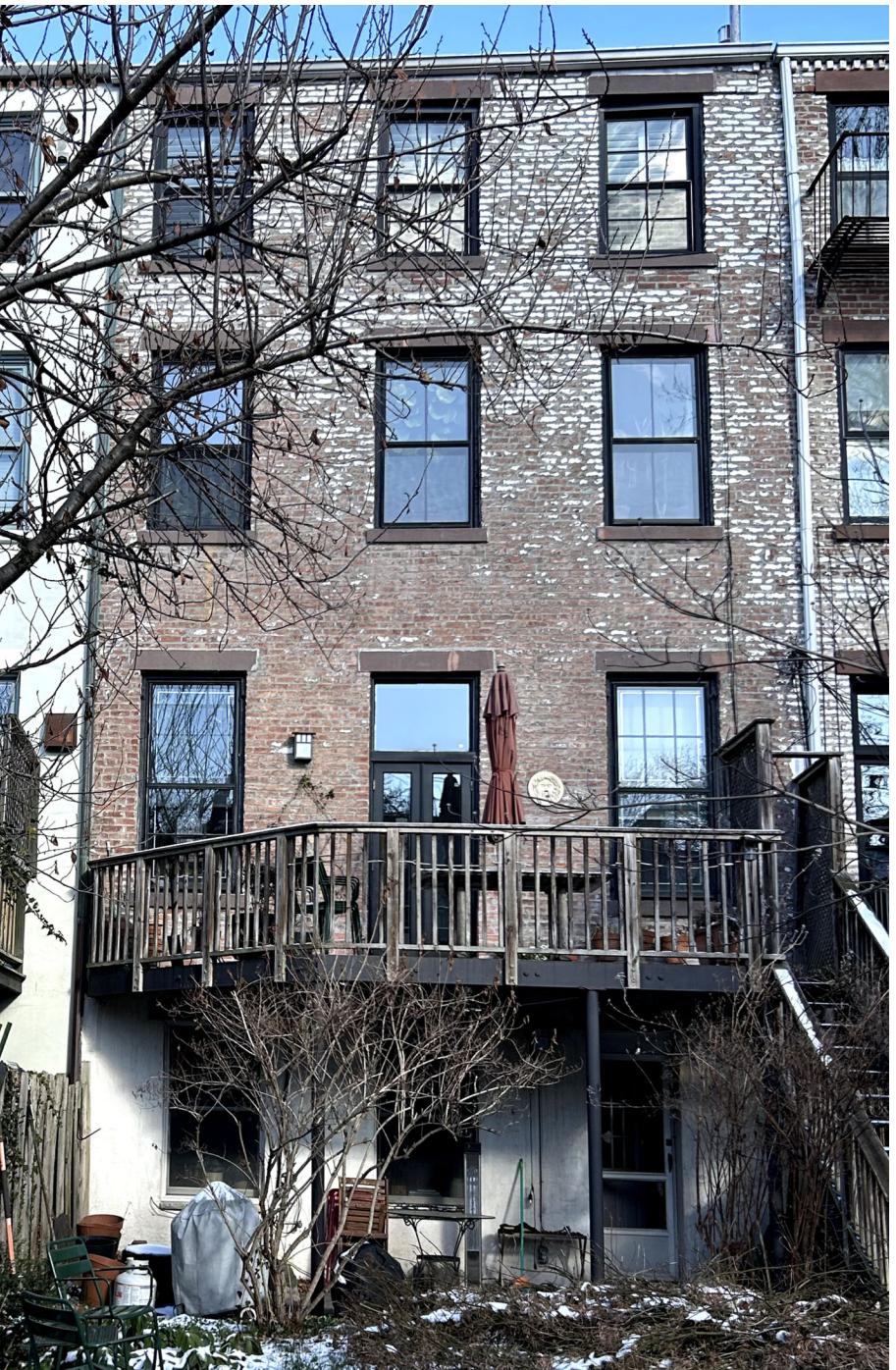
4 PROPOSED SECT.  
3/4" = 1'-0"



5 PROPOSED REAR PARLOR ELEV.  
3/4" = 1'-0"



6 PROPOSED AND WINDOW DOOR PLAN  
3/4" = 1'-0"



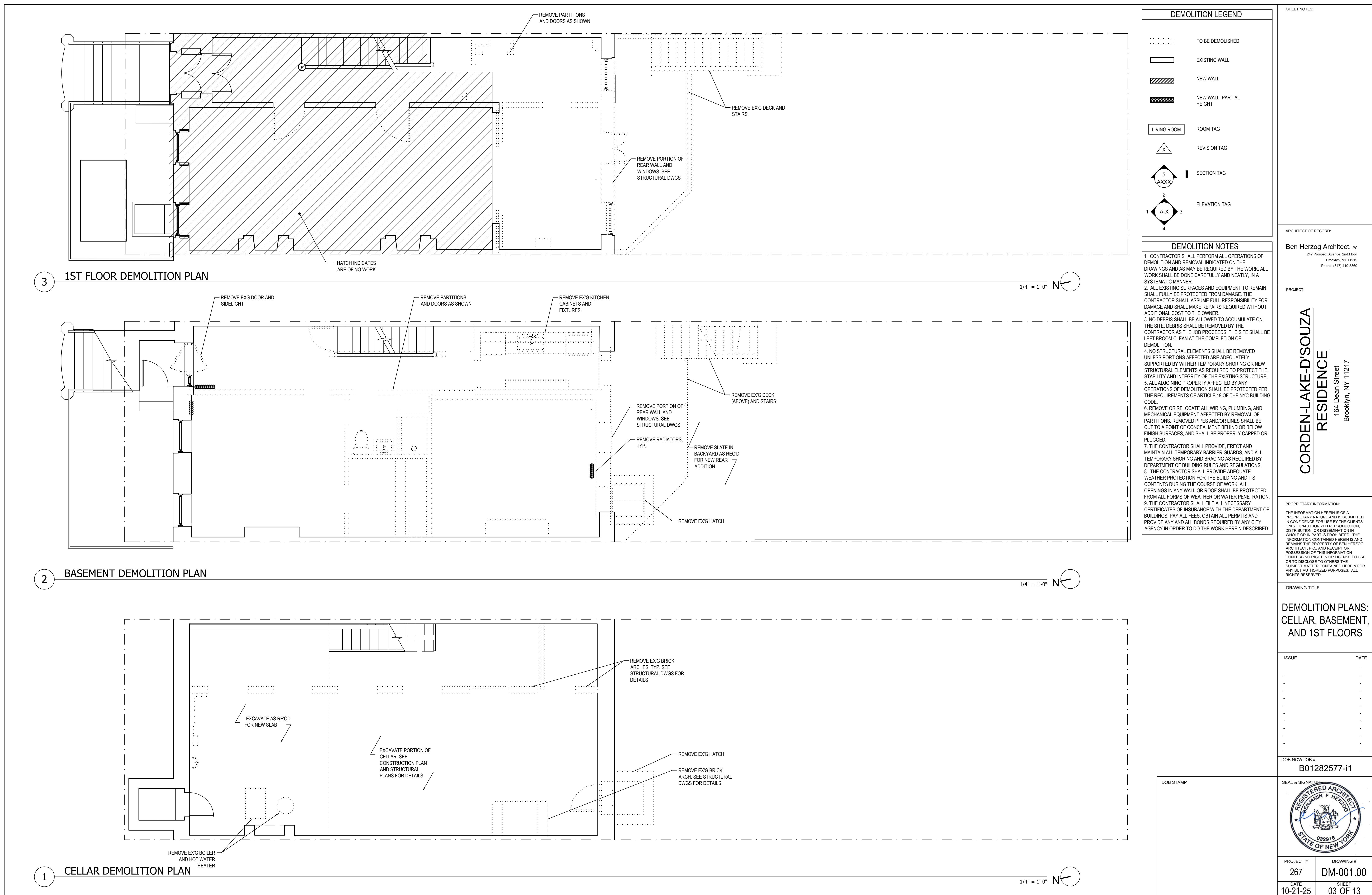
7 EXISTING REAR FACADE

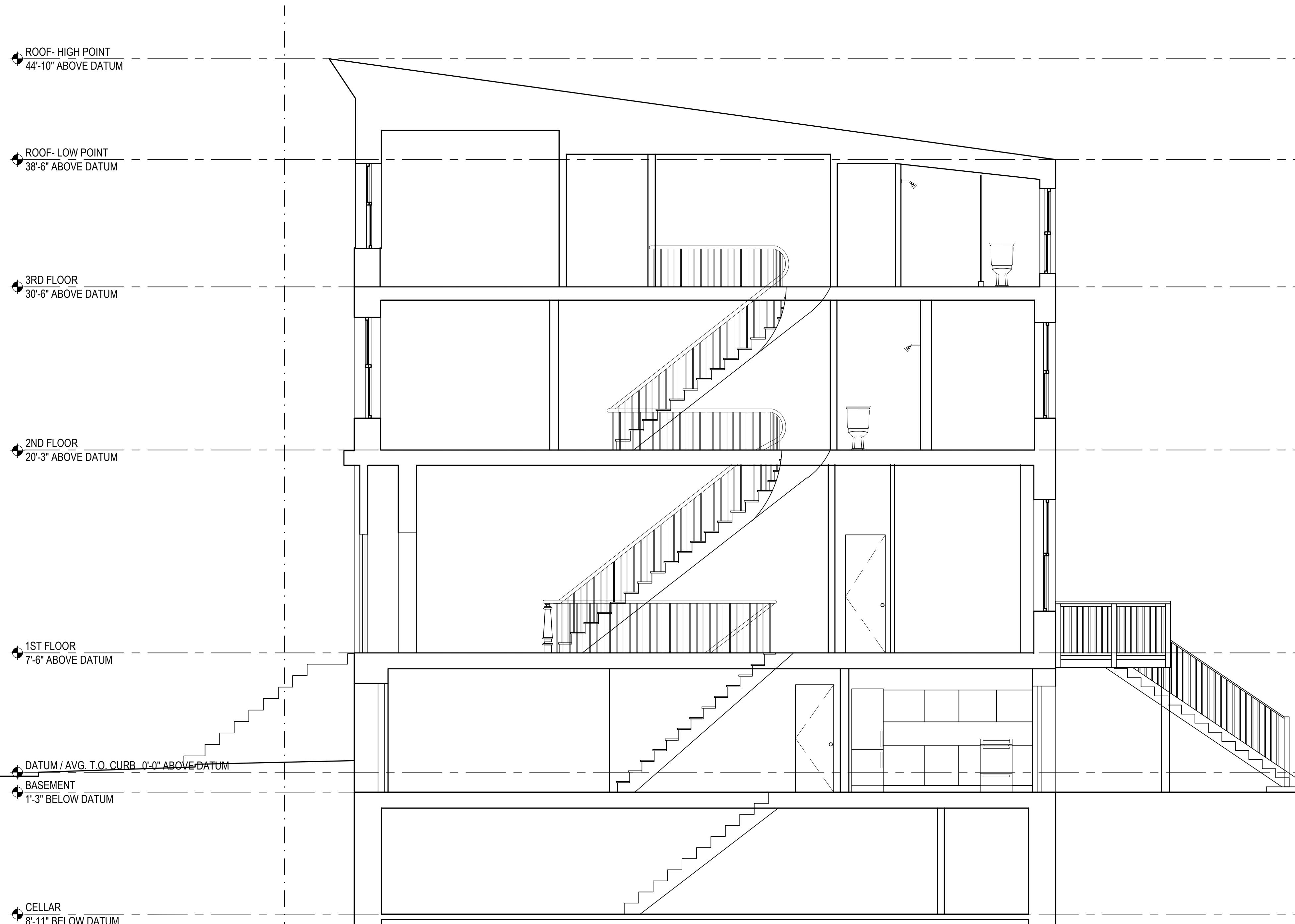


8 EXISTING SECOND AND THIRD FLOOR REAR FACADE



9 EXISTING BASEMENT & FIRST FL. REAR FACADE





1 EXISTING BUILDING SECTION

1/4" = 1'-0"

DOB NOW JOB #:  
B01282577-i1

DOB STAMP	SEAL & SIGNATURE	
PROJECT # 267	DRAWING # A-200.00	
DATE 10-21-25		Sheet 09 OF 13

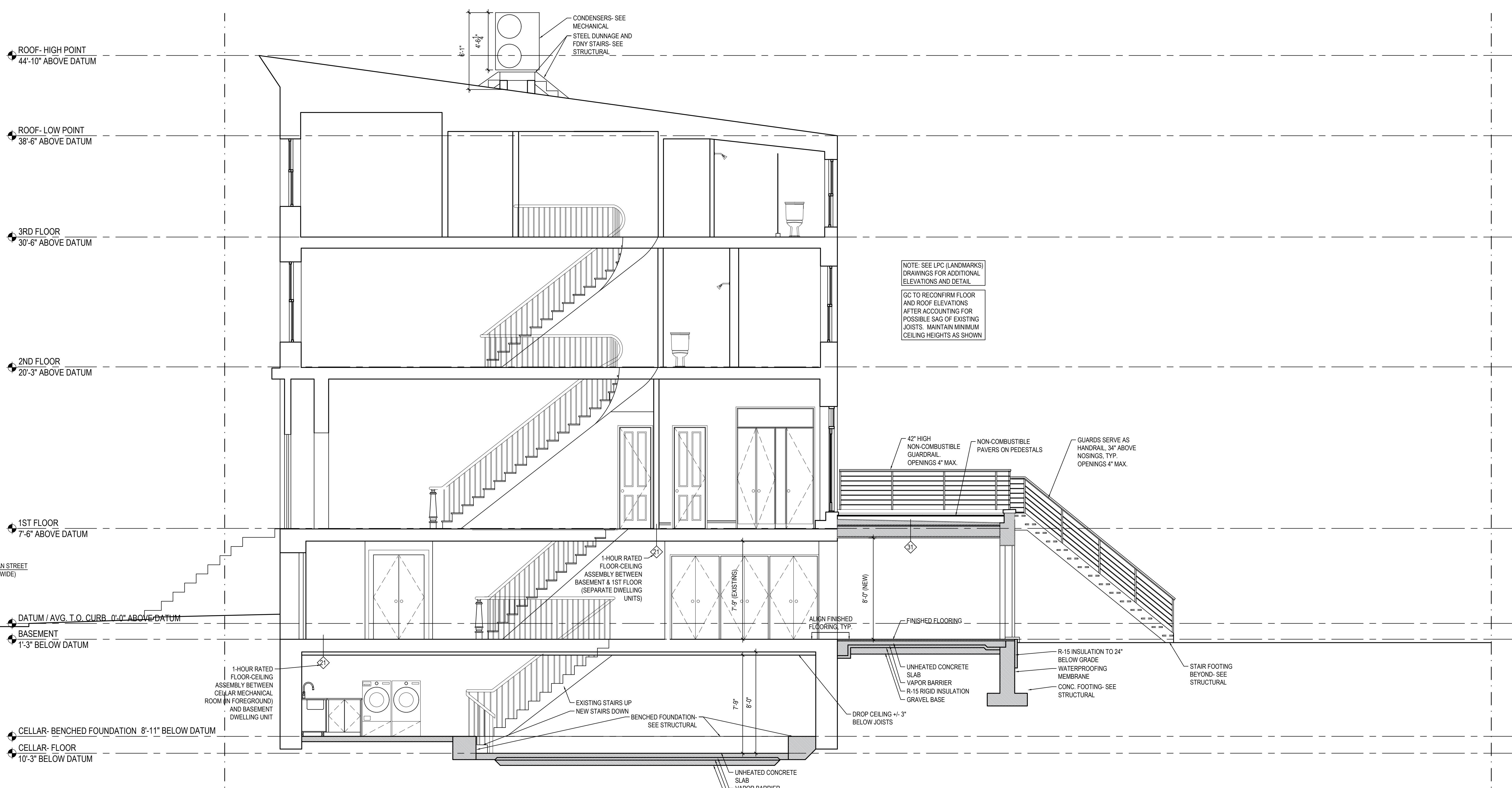
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SECTION**

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1/4" = 1'-0"

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PROJECT # 267	DRAWING # A-201.00
DATE 10-21-25	sheet 10 OF 13

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DRAWING TITLE  
EXISTING &  
PROPOSED EXTERIOR  
ELEVATIONS

ISSUE

DATE

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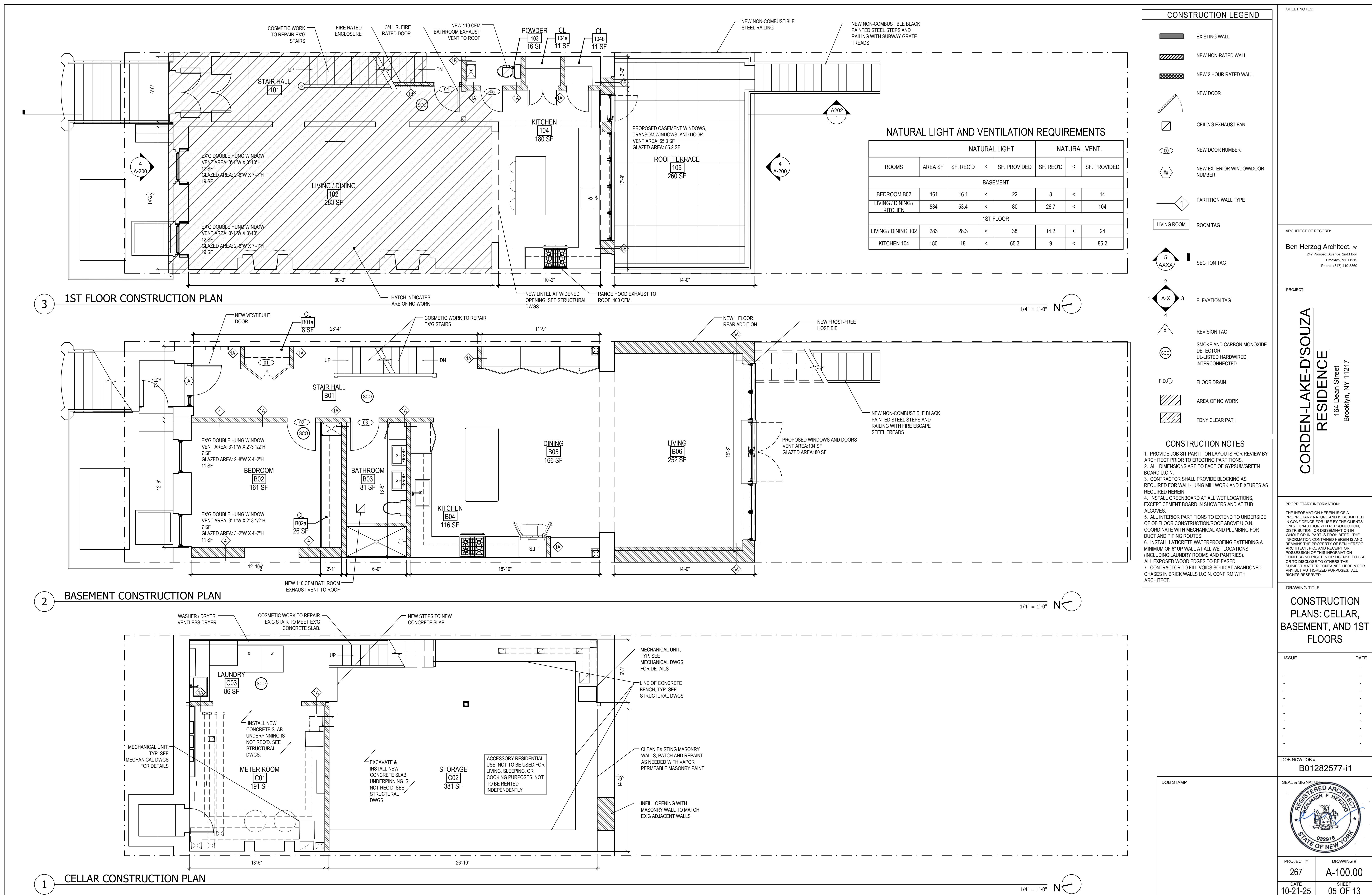
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PROJECT #	DRAWING #
267	A-300.00
DATE	10-21-25
SHEET 11 OF 13	



1 EXISTING TO REMAIN FRONT ELEVATION  
1/4" = 1'-0"

2 EXISTING REAR ELEVATION  
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



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