

The current proposal is:

Preservation Department – Item 2 & 3, LPC-24-09716 and LPC-24-09715

**112-24 & 112-128 177th Street – Addisleigh Park Historic District
Borough of Queens**

Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed.

**LANDMARK SUBMISSION FOR :
112-24 & 28 -177 STREET
PROPOSED 2 STORY - ONE FAMILY
DWELLING.**

- 1- CONTENTS
- 2- HISTORIC DISTRICT ORDINANCE
- 3- CLOSE UP PHOTOS (STREETSCAPES)
- 4-5- NEIGHBORHOOD CHARACTERISTIC STUDY
- 6- EXISTING SITE CONDITIONS
- 7- PREVIOUS LPC COMMENTS:
- 8- NEIGHBORHOOD CONTEXT AND INSPIRATION
- 9- SITE PLAN
- 10-LOOKING AT 177 TH STREET
- 11- EXISTING CURB CUT
- 12- DRIVEWAY
- 13-16-PROPOSED ELEVATIONS
- 17-18- PROPOSED FLOOR PLANS
- 19- SECTION
- 20-21- AXONOMETRIC VIEW
- 22-25 DETAILS
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**LANDMARK SUBMISSION FOR :
112-24-177 STREET/ 112-28-177 STREET
PROPOSED 2 STORY - ONE FAMILY DWELLING.**



112-24 177 STREET

112-28 177 STREET

**LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.**

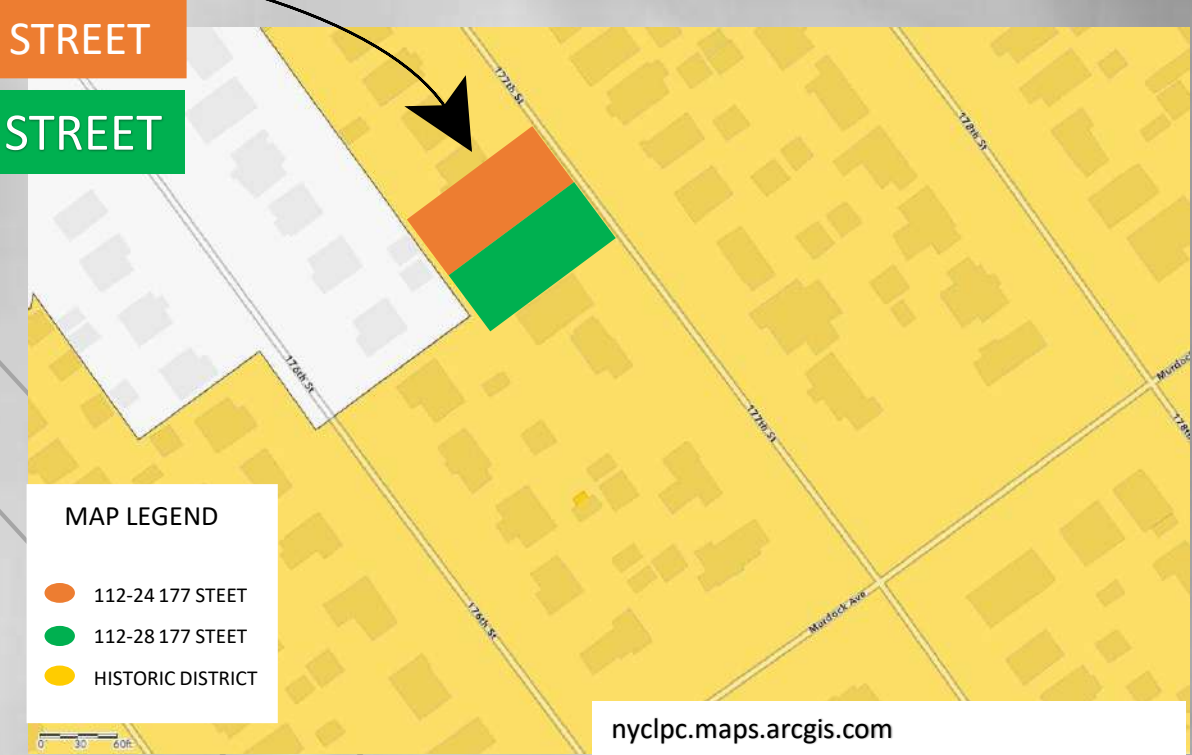
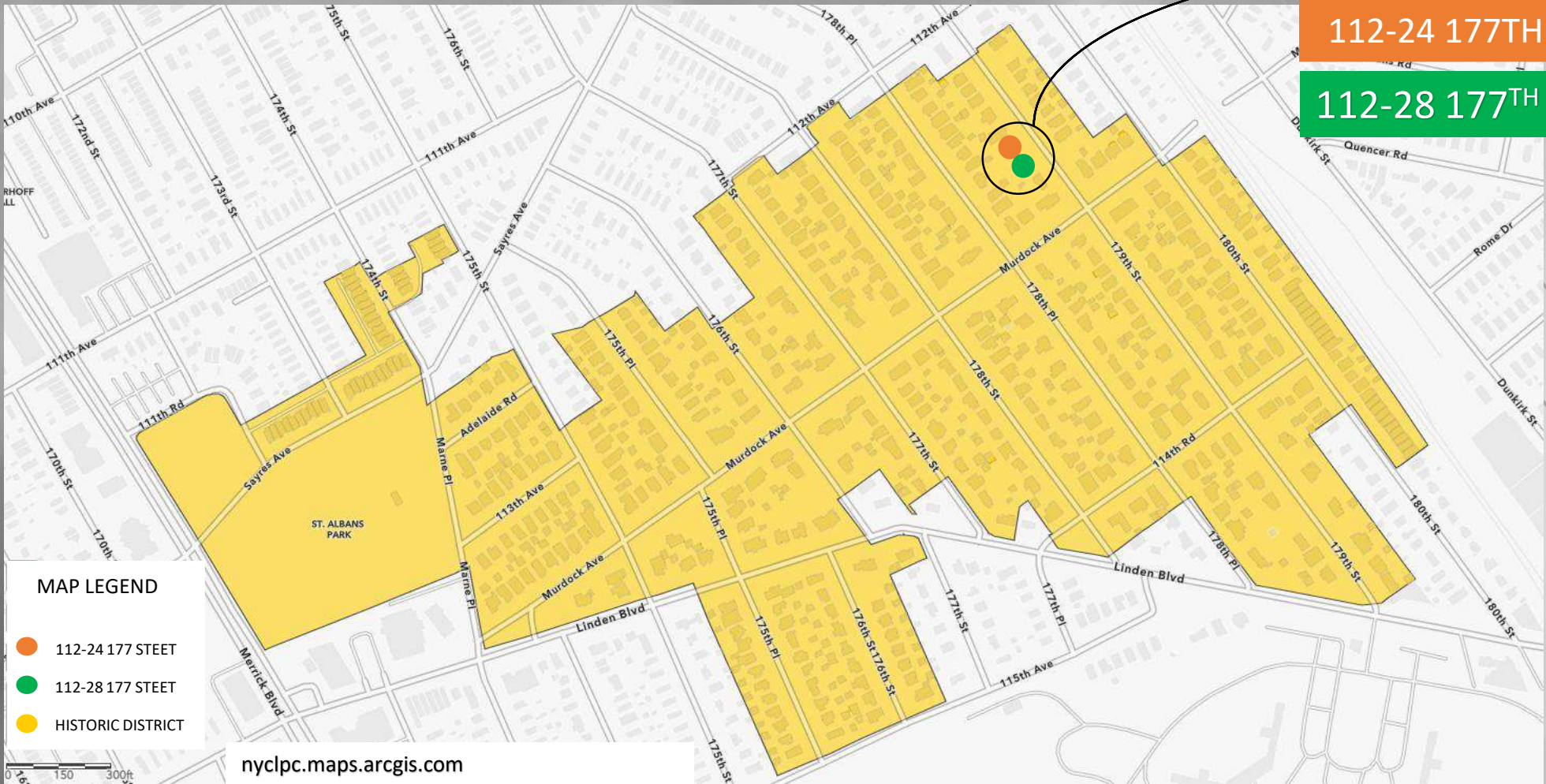
**THIS SUBMISSION IS FOR LANDMARK REVIEW ,
THE PROPOSED ELEVATIONS , ALL RENDRINGS
AND ILUUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC.**

**BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
CONTENTS**

**LOT : 48 - 49
MAP: 15B
USE GROUP: II**

**TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM**

2- HISTORIC DISTRICT ORDINANCE



112-24 177TH STREET VACANT LOT
112-28 177TH STREET VACANT LOT



112-24 177TH STREET & 112-28 177TH STREET
LOT 48 & 49 BEFORE SUBDIVISION

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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3- NEIGHBERHOOD CHARACTERISTIC STUDY



Photo 01
Address: 114-31
179th Street
Cross streets:
between 114th
Road and
Murdock, east side
of street
Date built: 1930
Notes, if any: none



Photo 05
Address: 112-35
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1938
Notes, if any:
none



Photo 09
Address: 112-15
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1931
Notes, if any:
none



Photo 02
Address: 112-47
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1947
Notes, if any:
none



Photo 06
Address: 112-23
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: c. 1930
Notes, if any:
none



Photo 10
Address: 173-05
113th Avenue
Cross streets:
ortheast corner of
Marne Place
Date built: 1929
Notes, former
home of jazz
musician Milt
Hinton



Photo 03
Address: 112-39
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1924
Notes, if any: none



Photo 07
Address: 112-19
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1954
Notes, if any:
none



Photo 11
Address: 112-07
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1937
Notes, if any:
none



Photo 4
Address: 114-29
179th Street
Cross streets:
between 114th Road
and Murdock, east
side of street
Date built: 1930
Notes, if any: none



Photo 08
Address: 175-46
Murdock Avenue
Cross streets:
Southwest corner of
176th Street
Date built: c. 1925
Notes, if any:
Owned by St.
Albans
Congregational
Church



Photo number: 12
Address: 113-03 175th
Street
Cross streets: between
Murdock Avenue and
Adelaide, east side of
street
Date built: c. 1927
Notes, if any: none

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3- NEIGHBERHOOD CHARACTERISTIC STUDY

LOT : 48 - 49

MAP: 15B

USE GROUP: II

TABRIZ DESIGN GROUP
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KEW GARDENS, NY 11415
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TABRIZGROUPENT@GMAIL.COM

3- NEIGHBORHOOD CHARACTERISTIC STUDY



Photo 13
Address: 112-03
177th Street
Cross streets:
between Murdock
and 112th
Avenue, east side
of street
Date built: 1937
Notes, if any:
none



Photo 17
Address: 112-12
177th Street
Cross streets:
between Murdock
and 112th
Avenue, west
side of street
Date built: 1937
Notes, if any:
none



Photo 21
Address: 112-32
177th Street
Cross streets:
between
Murdock and
112th Avenue,
west side of
street
Date built: 1965
Notes, if any:
none



Photo 14
Address: 112-04
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: c. 1937
Notes, if any: none



Photo 18
Address: 112-16
177th Street
Cross streets:
between
Murdock and
112th Avenue,
west side of
street
Date built: 1937
Notes, if any:
none



Photo 22
Address: 112-40
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1924
Notes, if any: former
home of baseball
player Jackie
Robinson



Photo 15
Address: 112-06
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1937
Notes, if any: none



Photo 19
Address: 112-20
177th Street
Cross streets:
between Murdock
and 112th
Avenue, west
side of street
Date built: 1937
Notes, if any:
none



Photo 23
Address: 112-50
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1924
Notes, if any: none



Photo 16
Address: 176-15
Murdock Avenue
Cross streets:
Northwest corner
of 177th Street
Date built: c.
1925
Notes, if any:
none



Photo 20
Address: 175-12
Murdock Avenue
Cross streets:
Southwest corner
of 175th Place
Date built: 1928
Notes, if any:
former home of
boxer Joe Louis



Photo 24
Address: 173-23
113th Avenue
Cross streets:
between 175th Street
and Marne Place,
north side of street
Date built: 1930
Notes, if any: none

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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
3- NEIGHBORHOOD CHARACTERISTIC STUDY

LOT : 48 - 49
MAP: 15B
USE GROUP: II
TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM

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ZONING: R2
OCCUPANCY: R3
CONSTR. CLASS: 5A

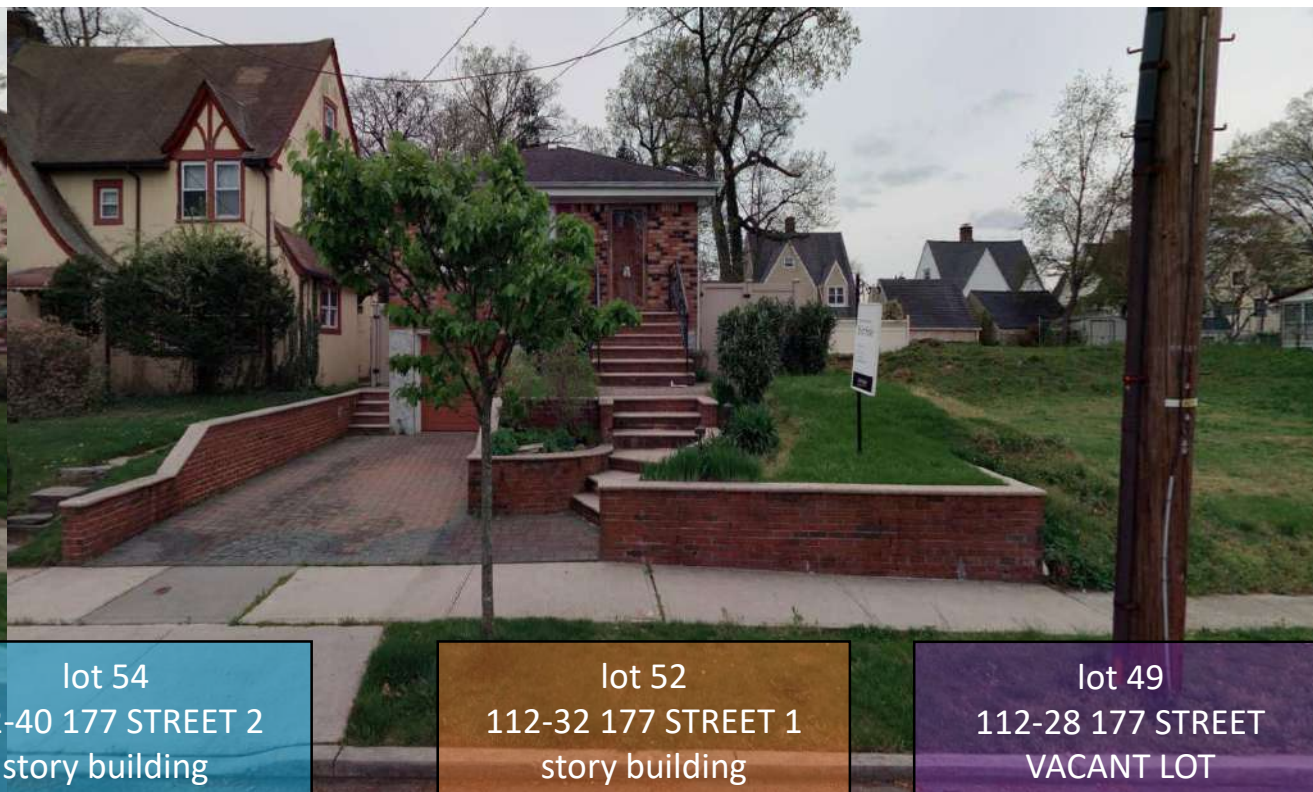
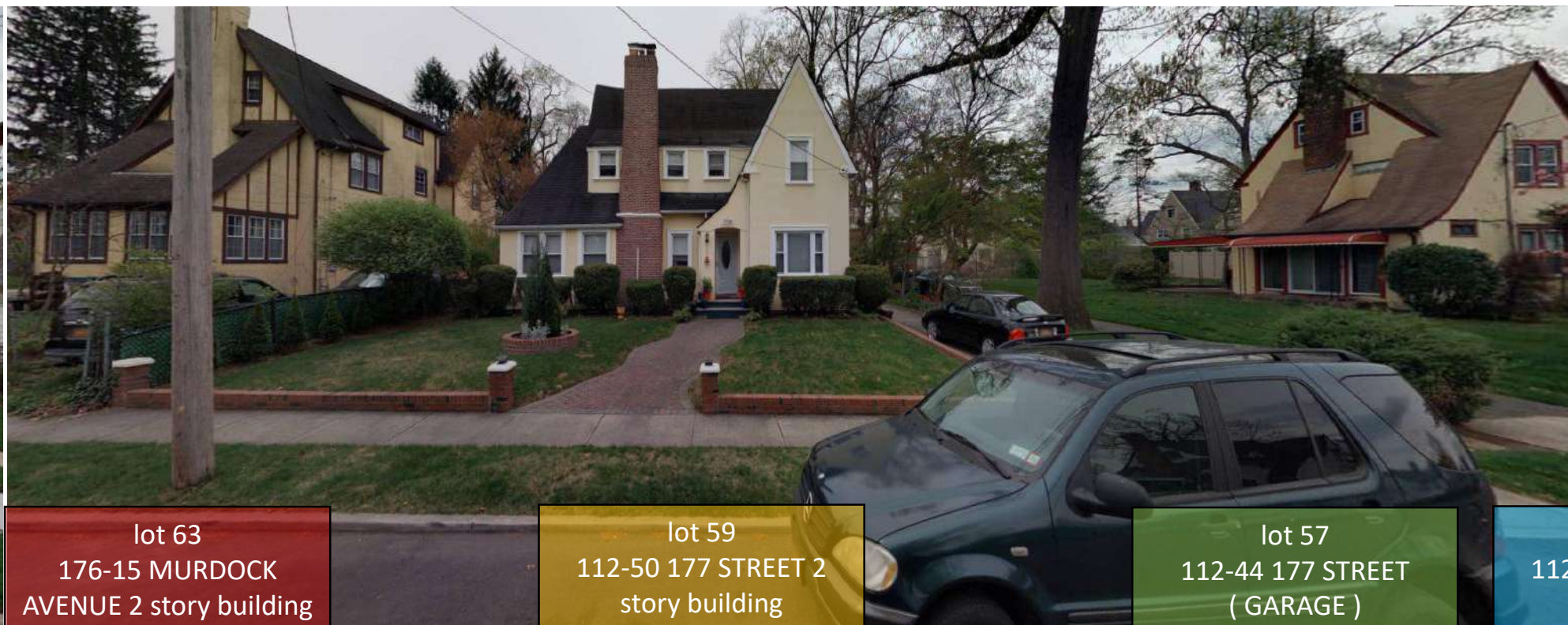
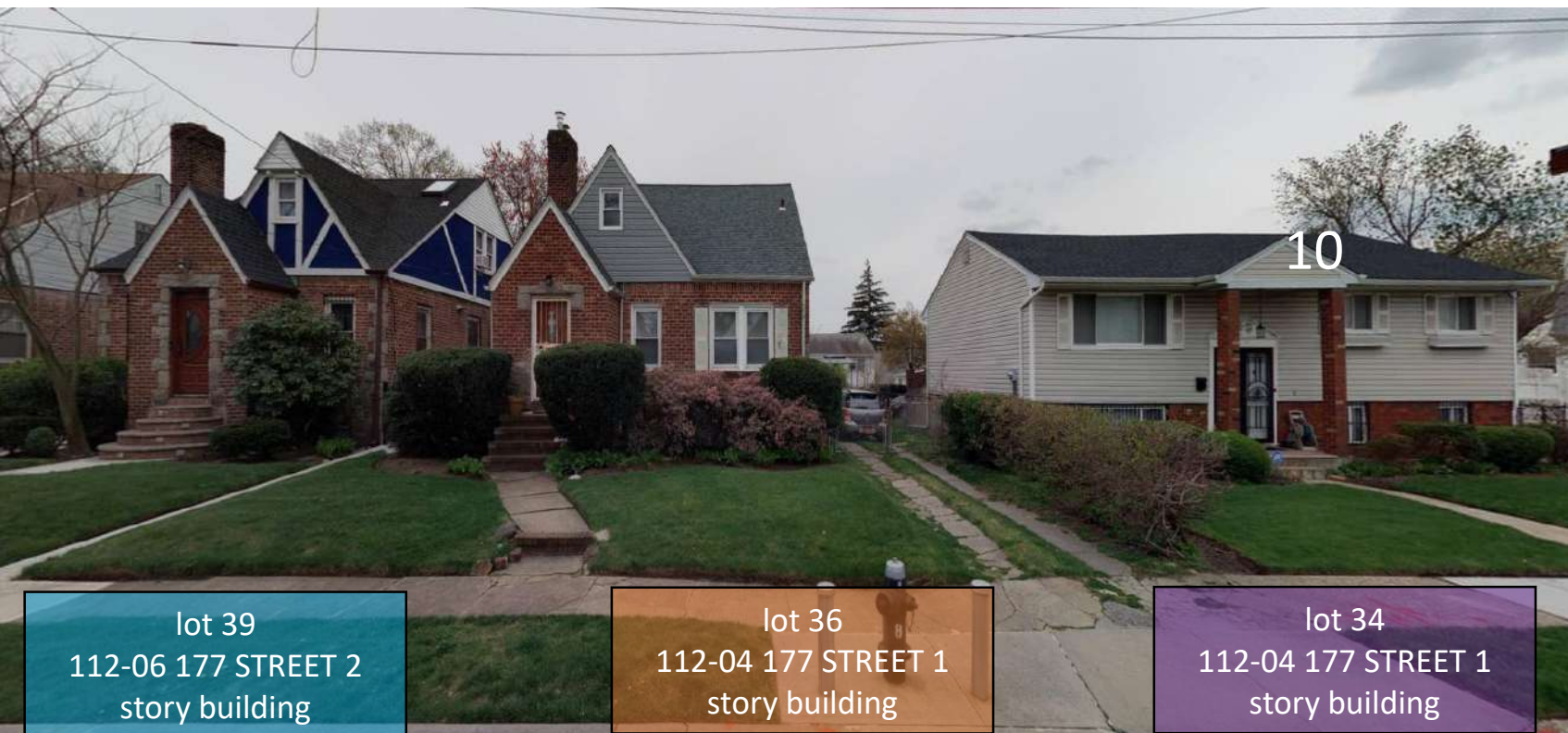
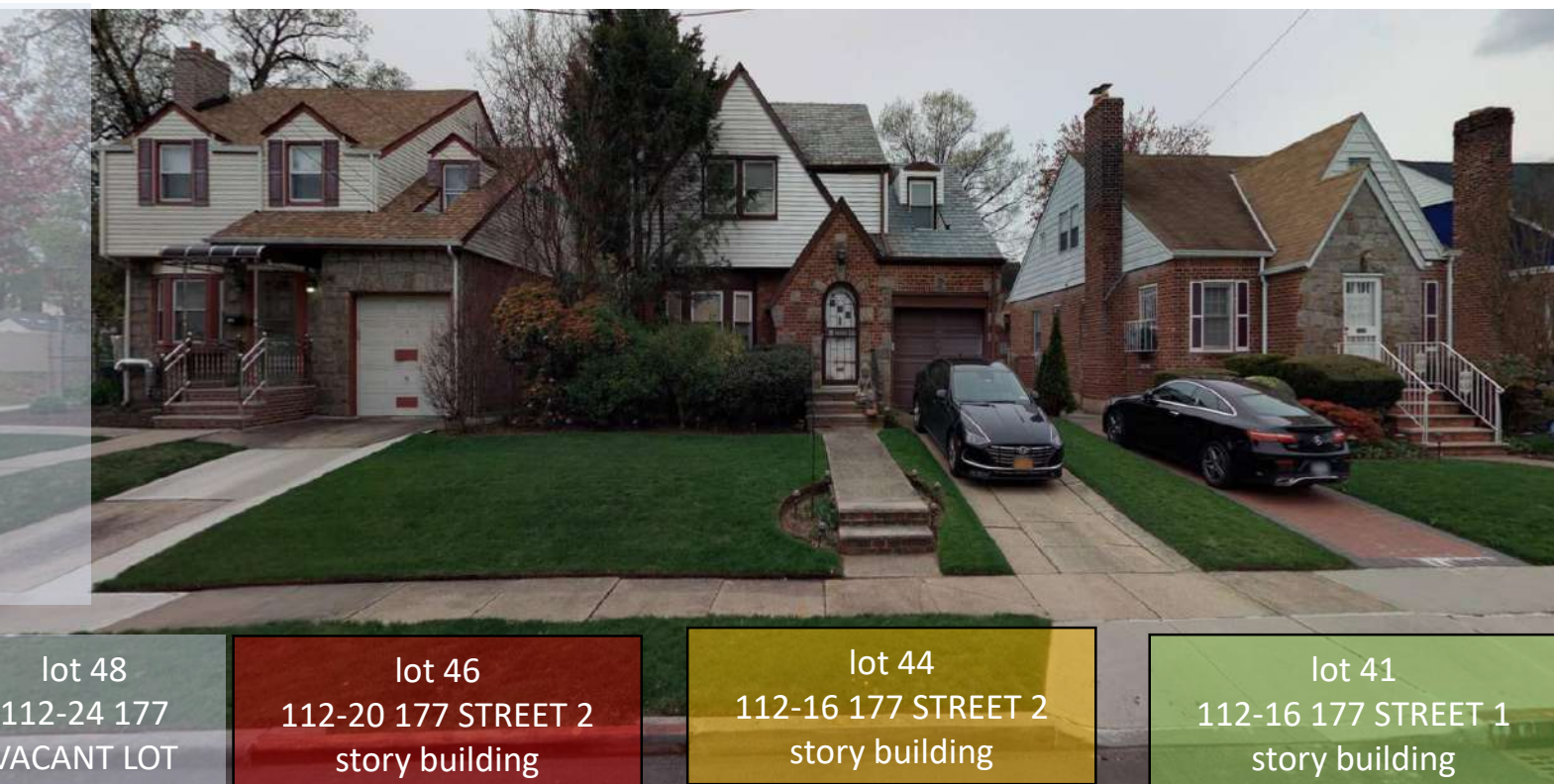
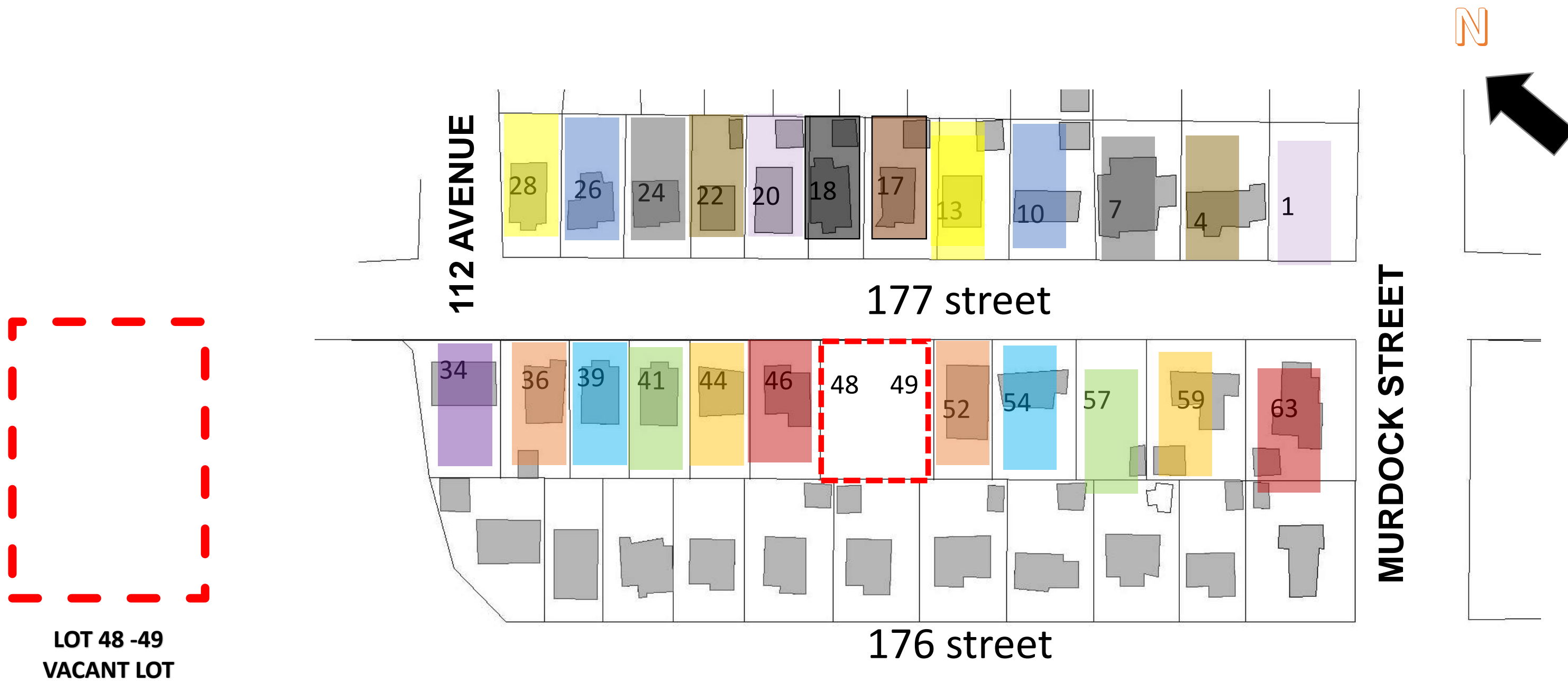
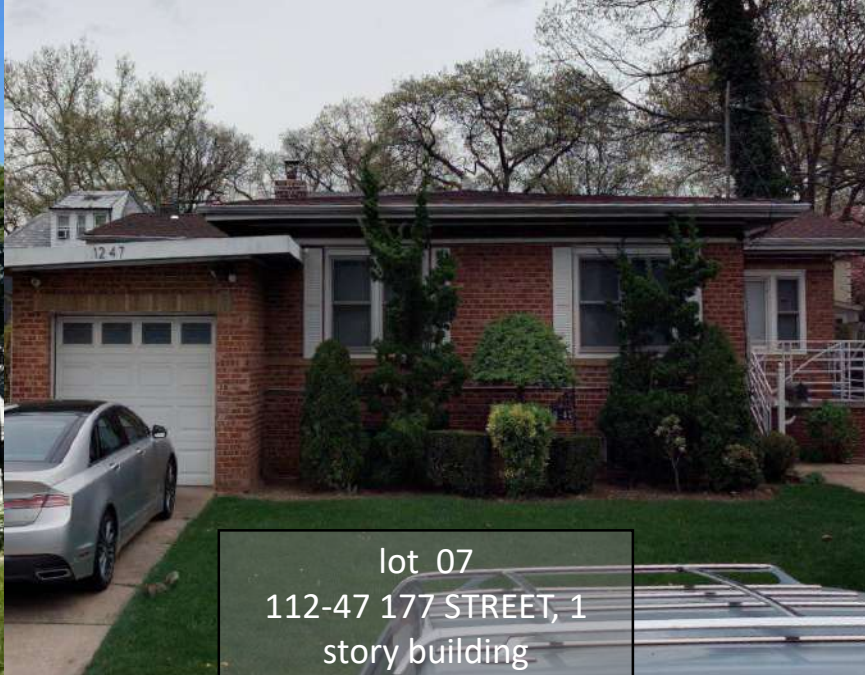
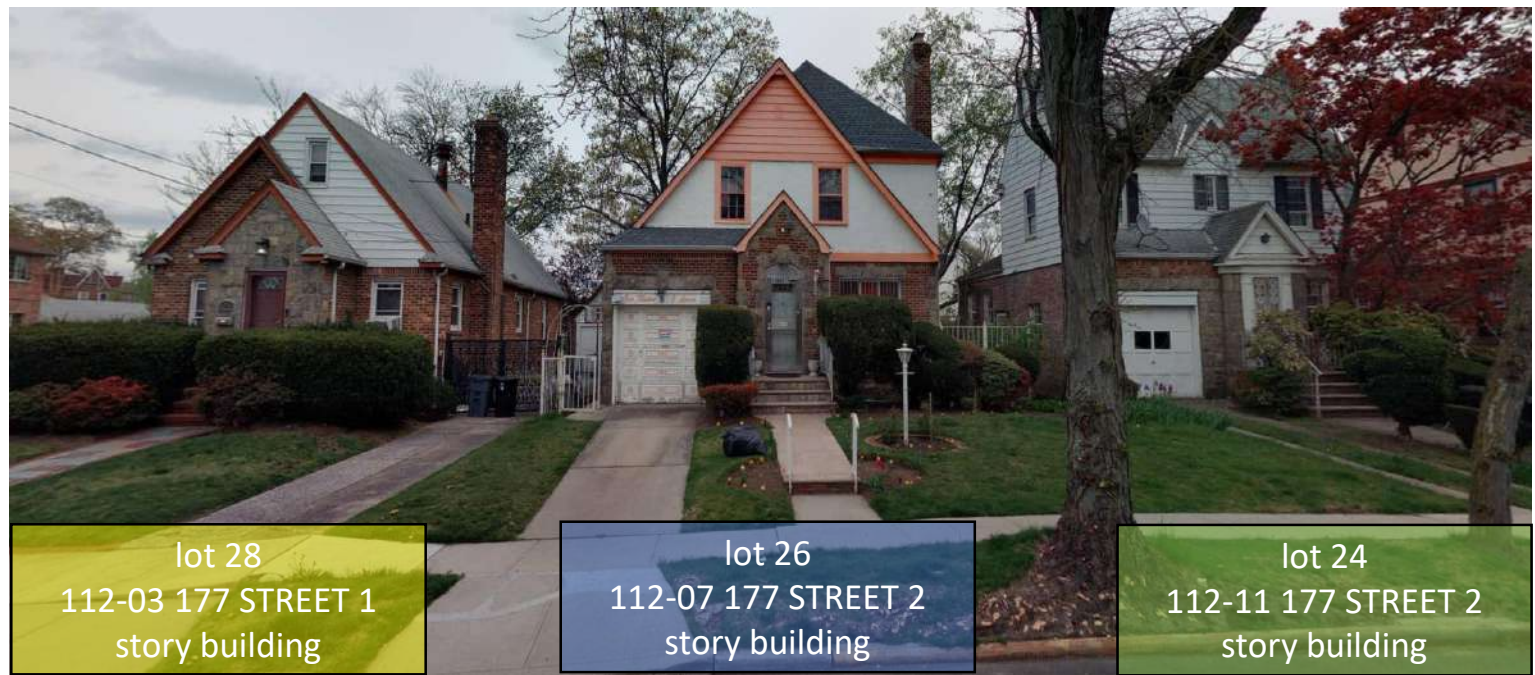
LOT : 48 - 49
MAP: 15B
USE GROUP: II

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZROUPEINT@GMAIL.COM

5- CLOSE UP PHOTOS (STREETSCAPES)

05

5- CLOSE UP PHOTOS (STREETSCAPES)



4- EXISTING SITE CONDITIONS

EXISTING SITE CONDITIONS

Vacant lot, empty except for wild grass and dirt, created by splitting a larger property into two.



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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

LOT : 48 - 49
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USE GROUP: II

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4- EXISTING SITE CONDITIONS

Previous LPC Comments:

•This revised proposal incorporates LPC feedback to better align the two one-family dwellings with the historic district. The design updates address previous concerns in order to better reflect the neighborhood context

•**Front porch** design was incongruous with the neighborhood character.

•**Elevated basement** was not appropriate → advised removing or reducing it.

•**Buildings** appeared too boxy, lacking traditional 3-dimensionality.



•**Two houses** looked almost identical → requested more aesthetic variety.

•**Roof lines** were too shallow; requested more steeply pitched Tudor-style roofs.

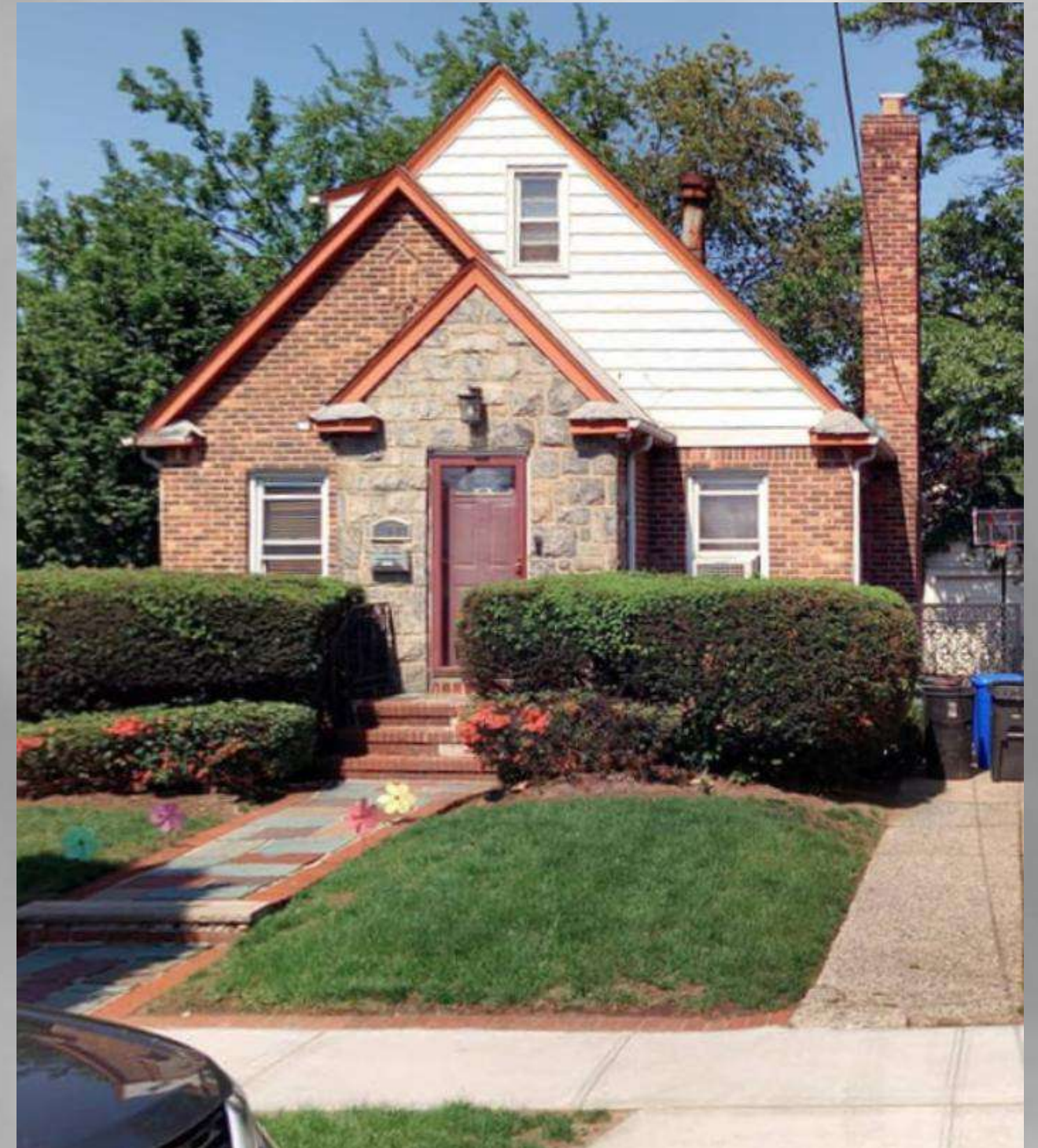
•**Proposed stone cladding** on one house felt minimal

•**Proposed paving** in the front yard was excessive for the district.

NEIGHBORHOOD CONTEXT & INSPIRATION



These two houses, located within the neighborhood, were used as references. They reflect **the traditional scale, roof forms, and material** choices that informed our proposed design.”



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OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

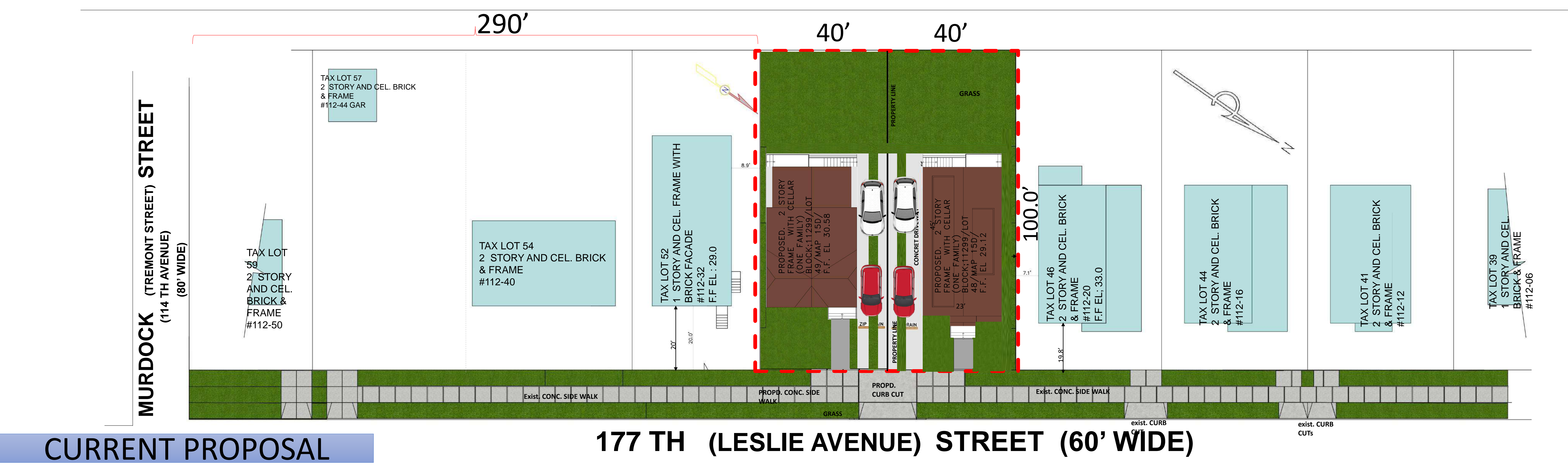
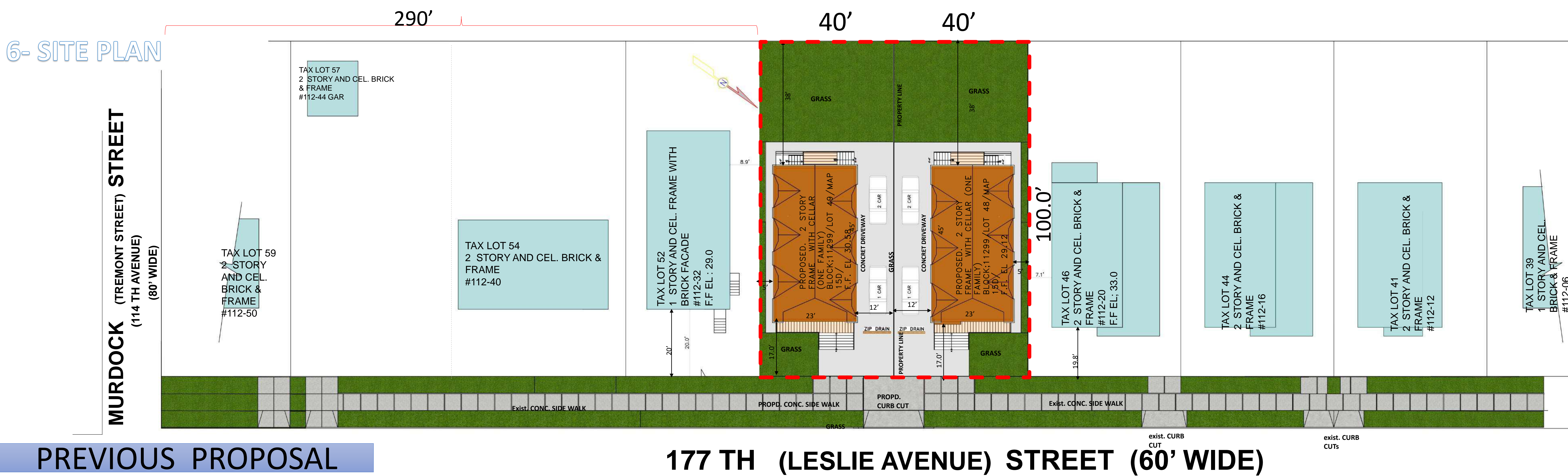
MAP: 15B

USE GROUP: II

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5- CLOSE UP PHOTOS (STREETSCAPES)

6- SITE PLAN



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OCCUPANCY: R3
CONSTR.CLASS: 5A

LOT : 48 - 49
MAP: 15B
USE GROUP: II

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10- PROPOSED ELEVATIONS

7-LOOKING AT 177 TH STREET



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OCCUPANCY: R3
CONSTR.CLASS: 5A
LOT : 48 - 49
MAP: 15B
USE GROUP: II
7-LOOKING AT 177 TH STREET

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8- EXISTING CURB CUTS

CURB CUTS ARE PROPOSED PAIRED IN ORDER TO MINIMIZE IMPACT ON THE STREET PARKING



LOT 48 & 49

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OCCUPANCY: R3
CONSTR.CLASS: 5A
8- EXISTING CURB CUT

LOT : 48 - 49
MAP: 15B
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9- DRIVEWAY



TYPICAL DRIVEWAY CONDITIONS IN THE AREA



DRIVEWAY TO INCLUDE A GRASS CENTER STRIP BETWEEN CONCRETE STRIPS, REFERENCING HISTORIC DESIGN.

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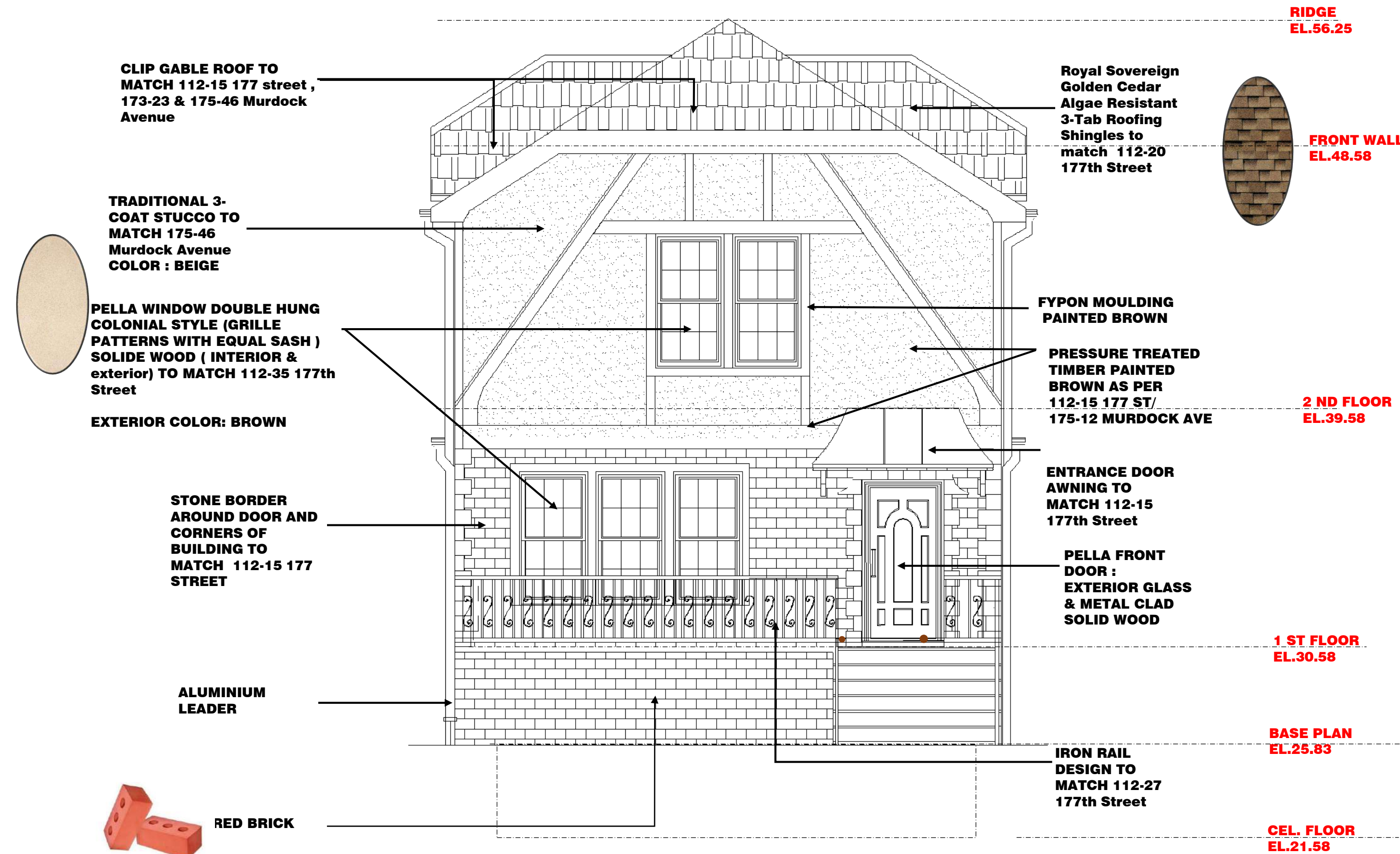
BLOCK: 10299
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OCCUPANCY: R3
CONSTR.CLASS: 5A
8- DRIVEWAY

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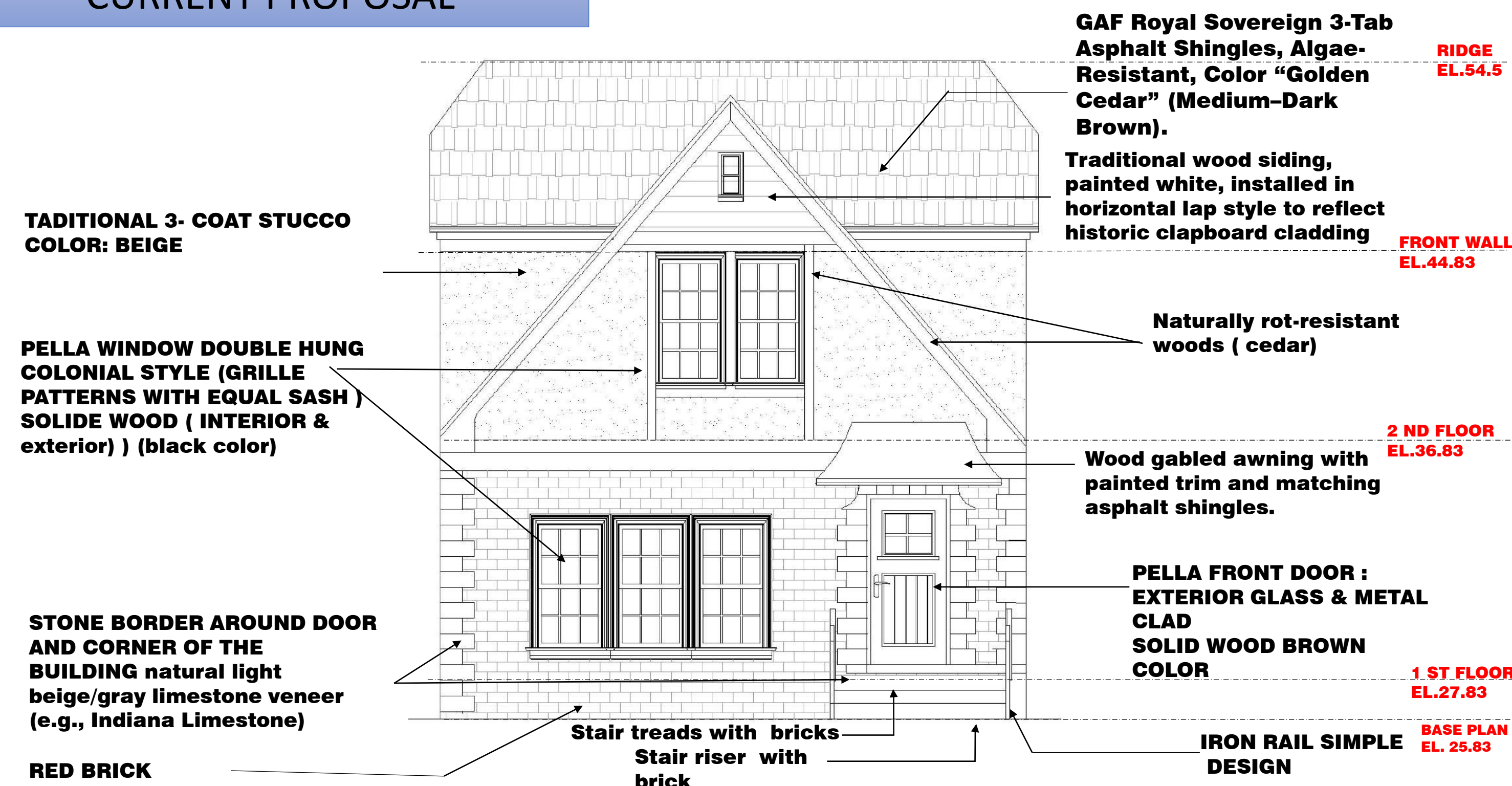
112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL



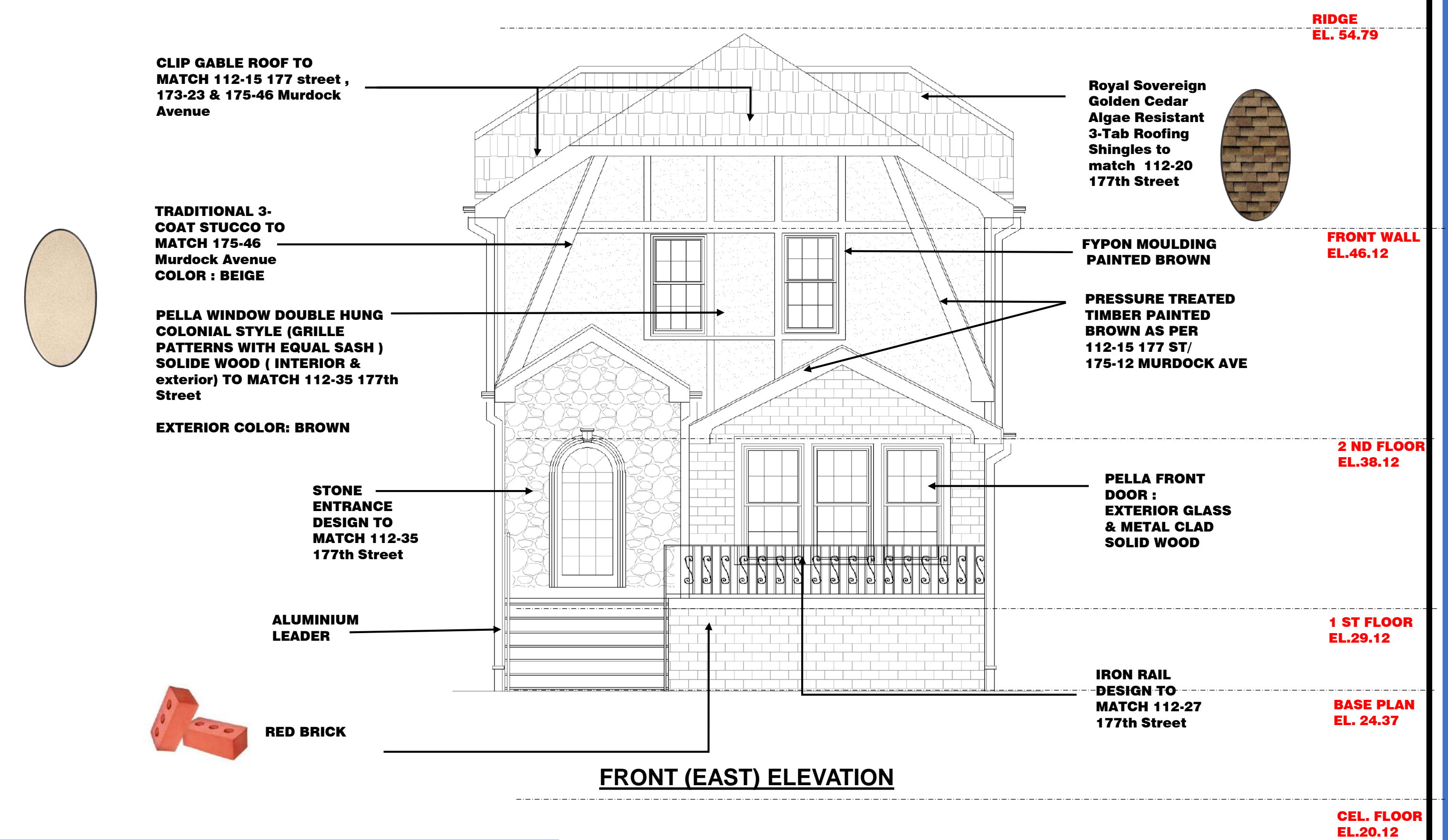
FRONT (EAST) ELEVATION

CURRENT PROPOSAL



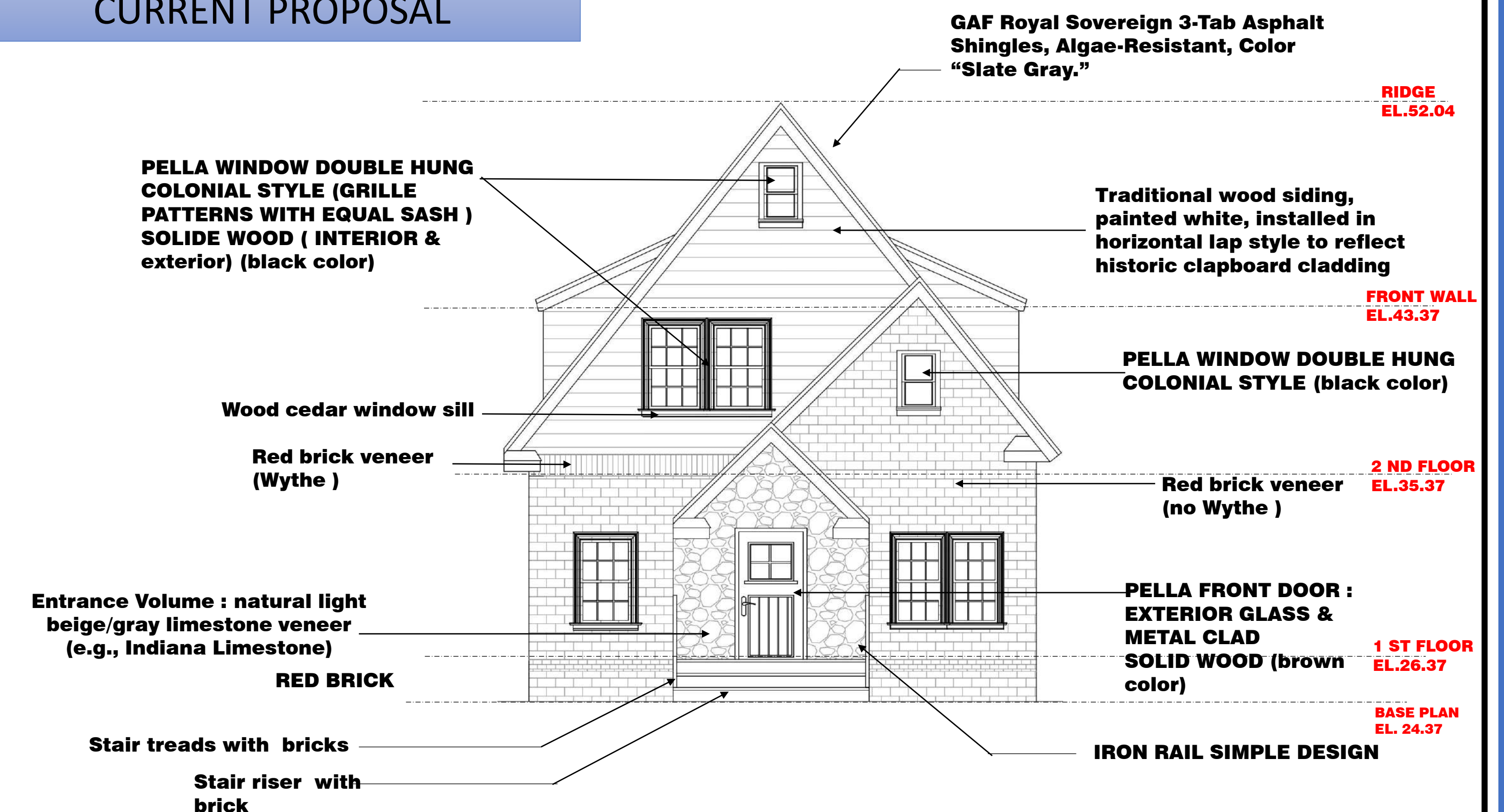
112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



FRONT (EAST) ELEVATION

CURRENT PROPOSAL



BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

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10- PROPOSED ELEVATIONS

112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL



SIDE (NORTH) ELEVATION

CURRENT PROPOSAL

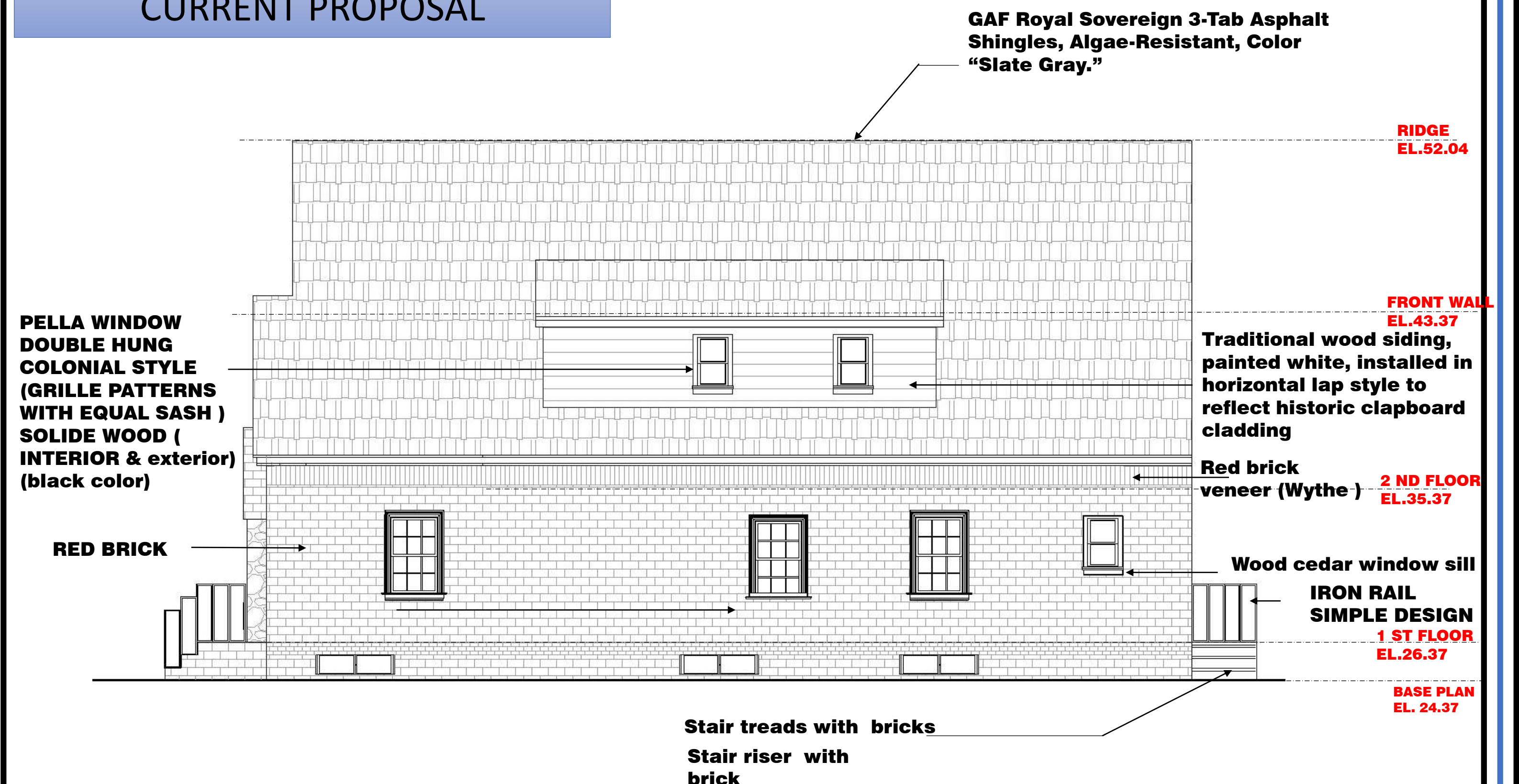


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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OCCUPANCY: R3

CONSTR.CLASS: 5A

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MAP: 15B

USE GROUP: II

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10- PROPOSED ELEVATIONS

112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL



CURRENT PROPOSAL

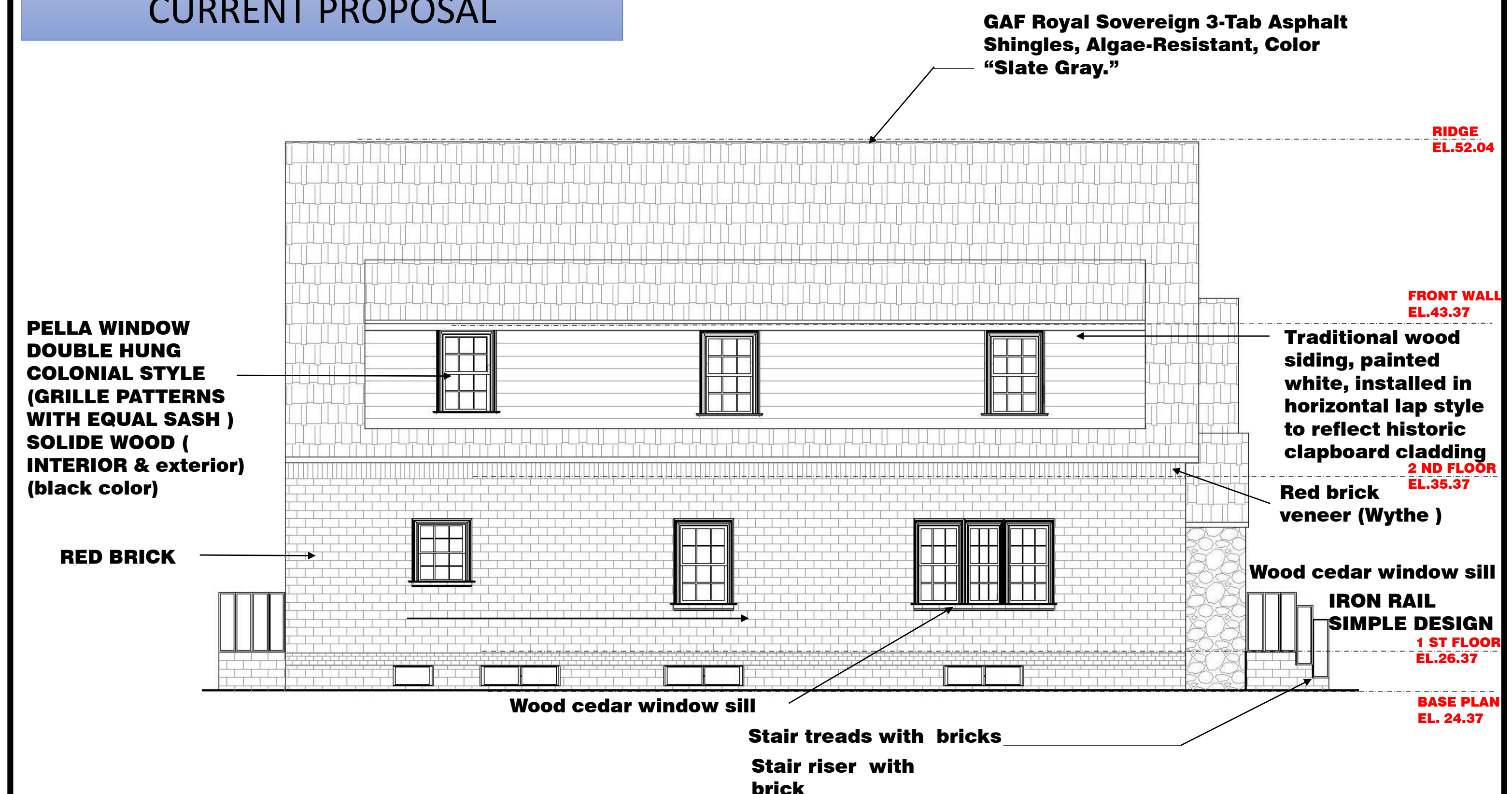


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

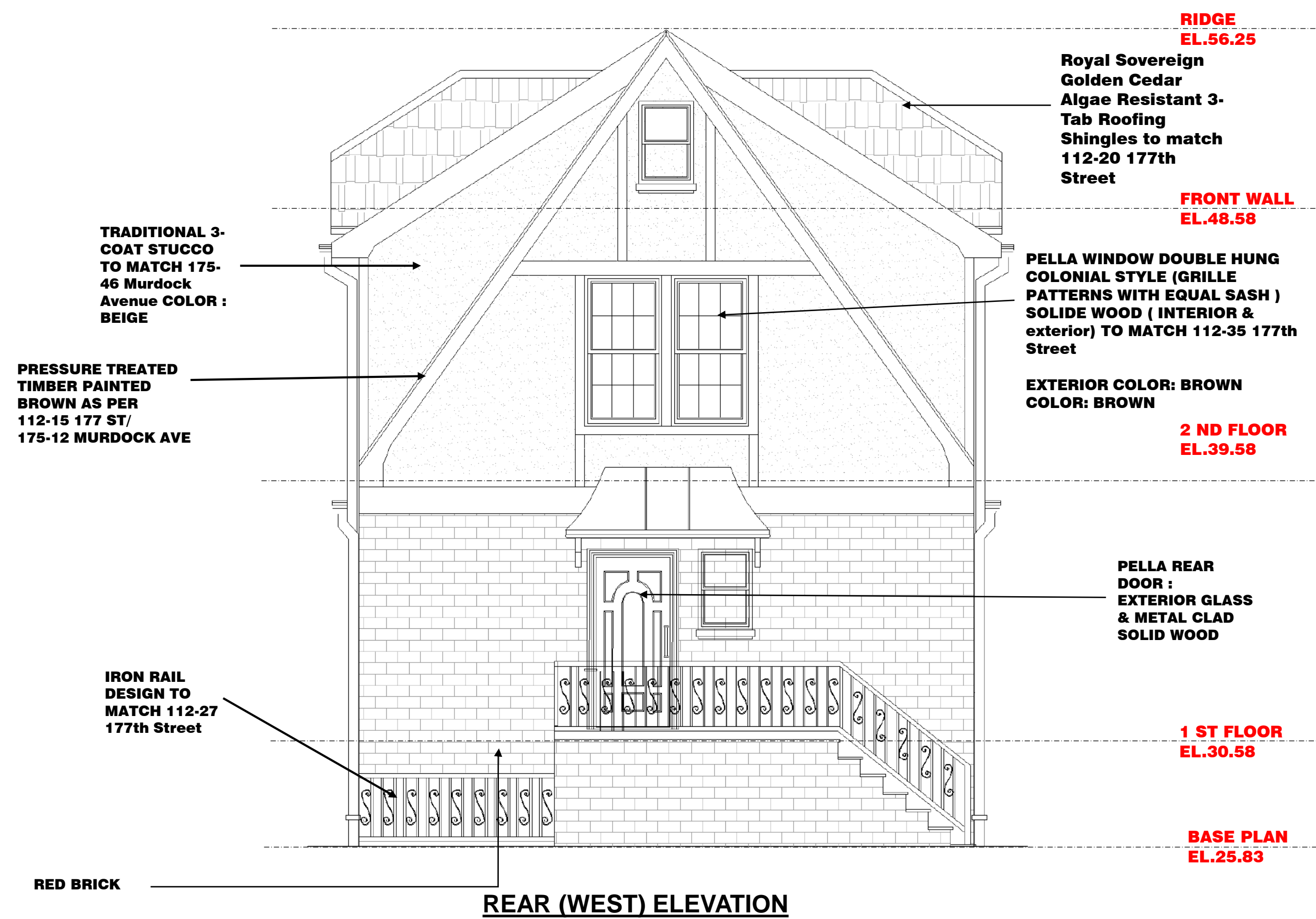
USE GROUP: II

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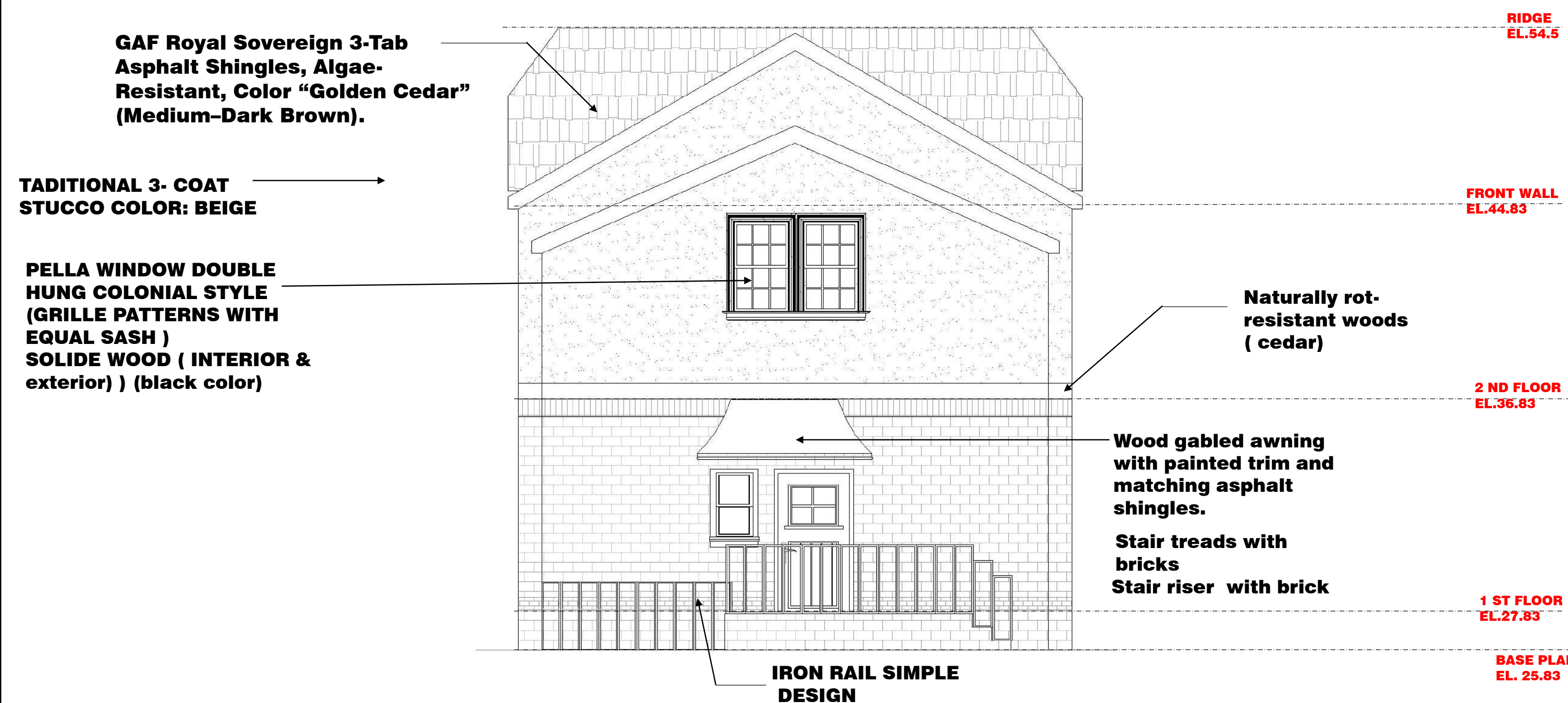
10- PROPOSED ELEVATIONS

112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL

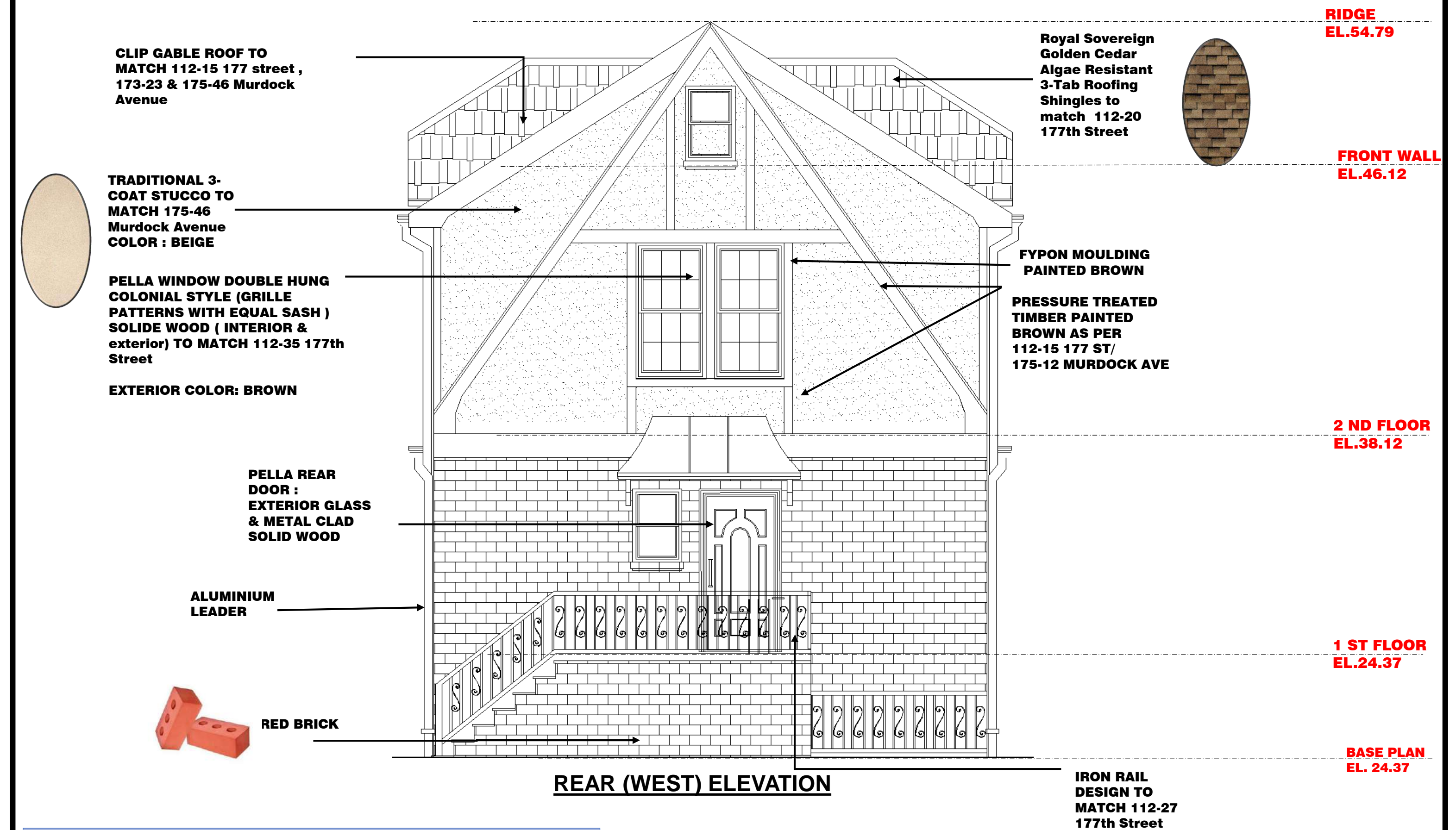


CURRENT PROPOSAL

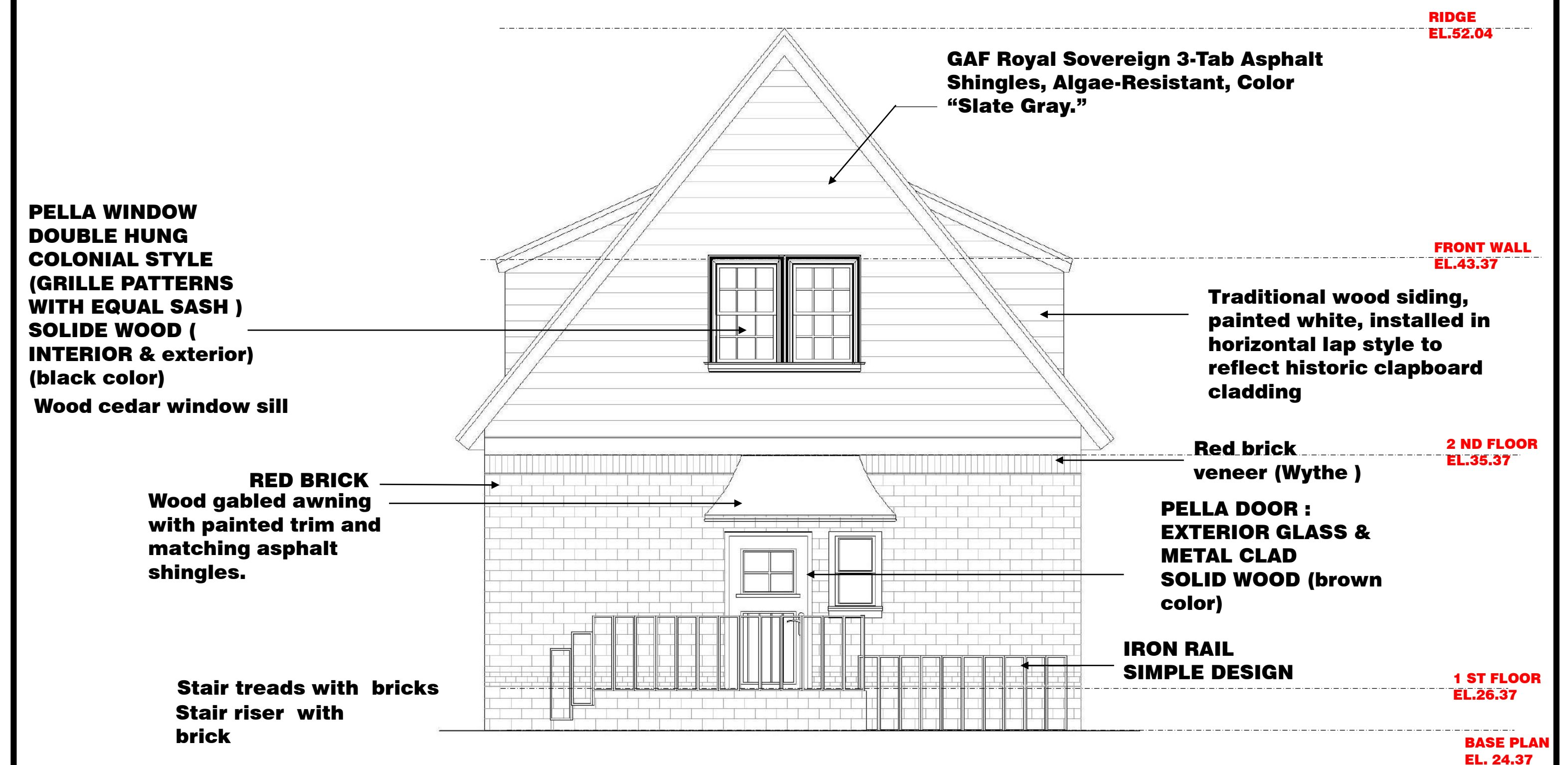


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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OCCUPANCY: R3

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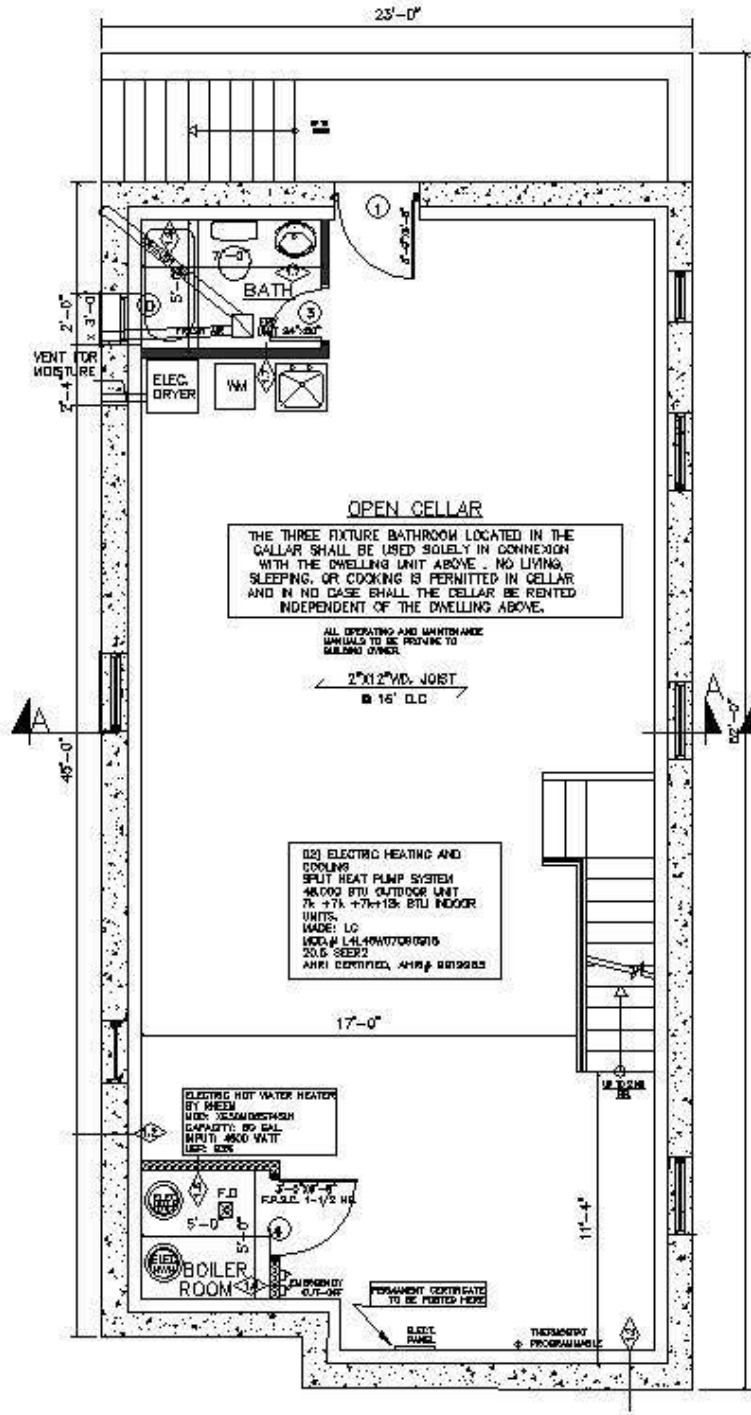
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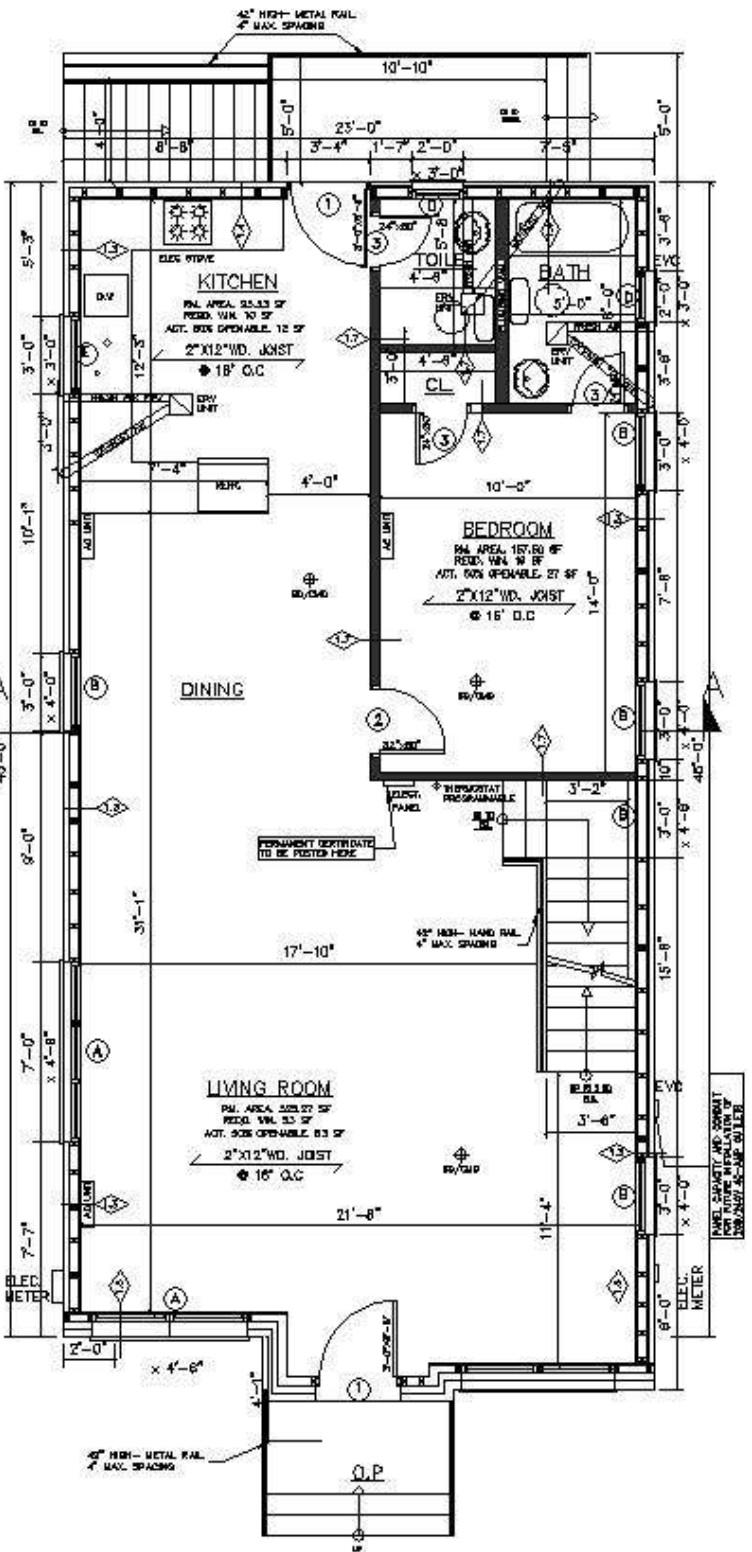
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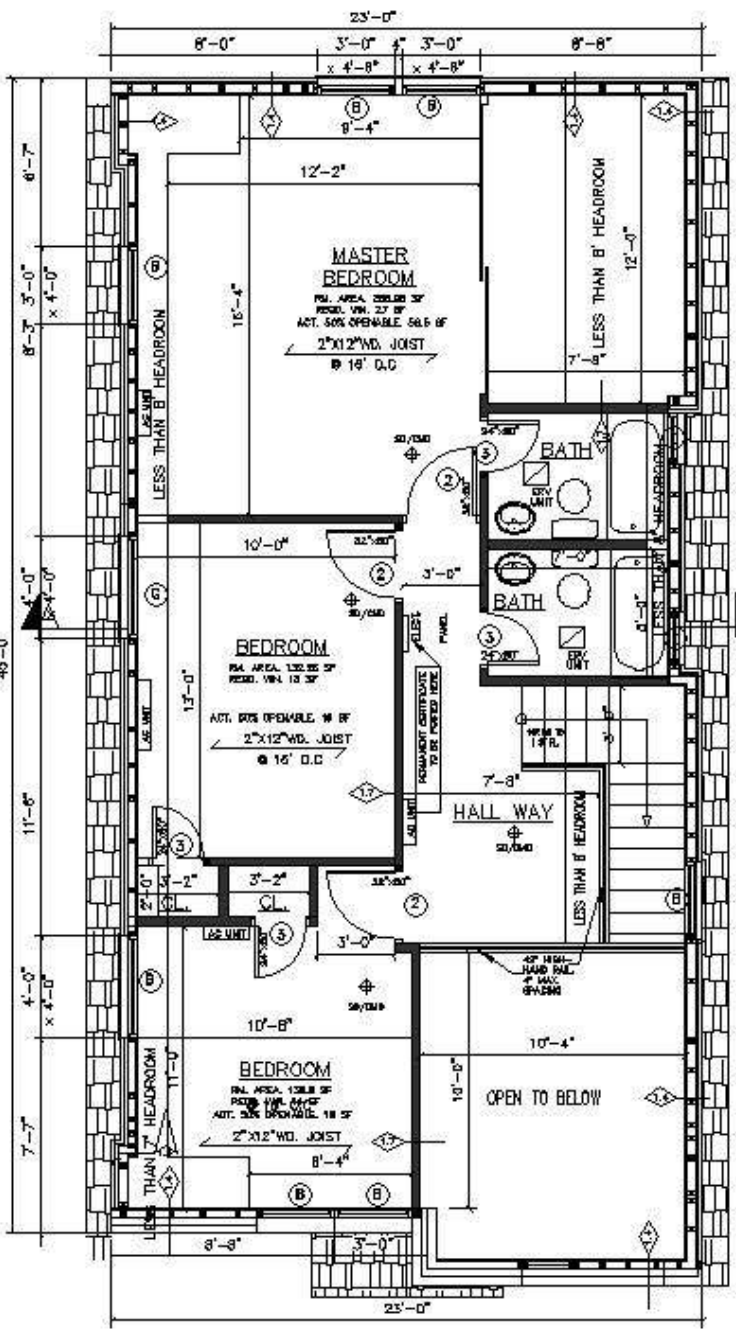
Lot 48
112-24 177 PROPD. STREET 2 story building



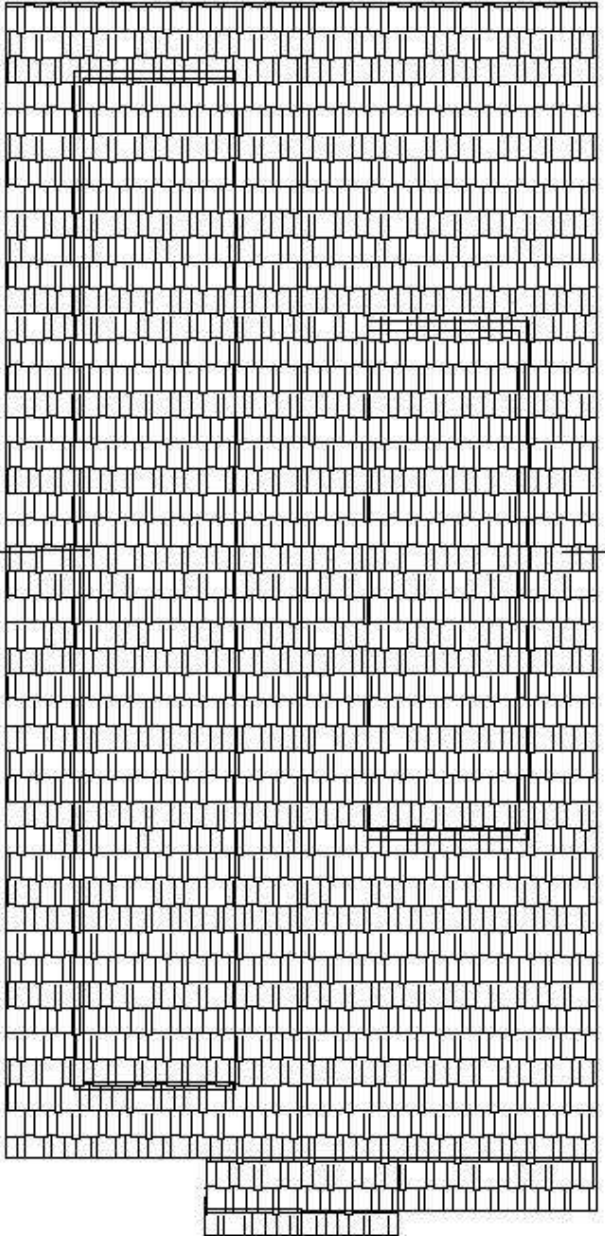
PROPD. CEL. FL. PLAN



PROPD 1 ST. FL. PLAN



PROPD 2 ND. FL. PLAN



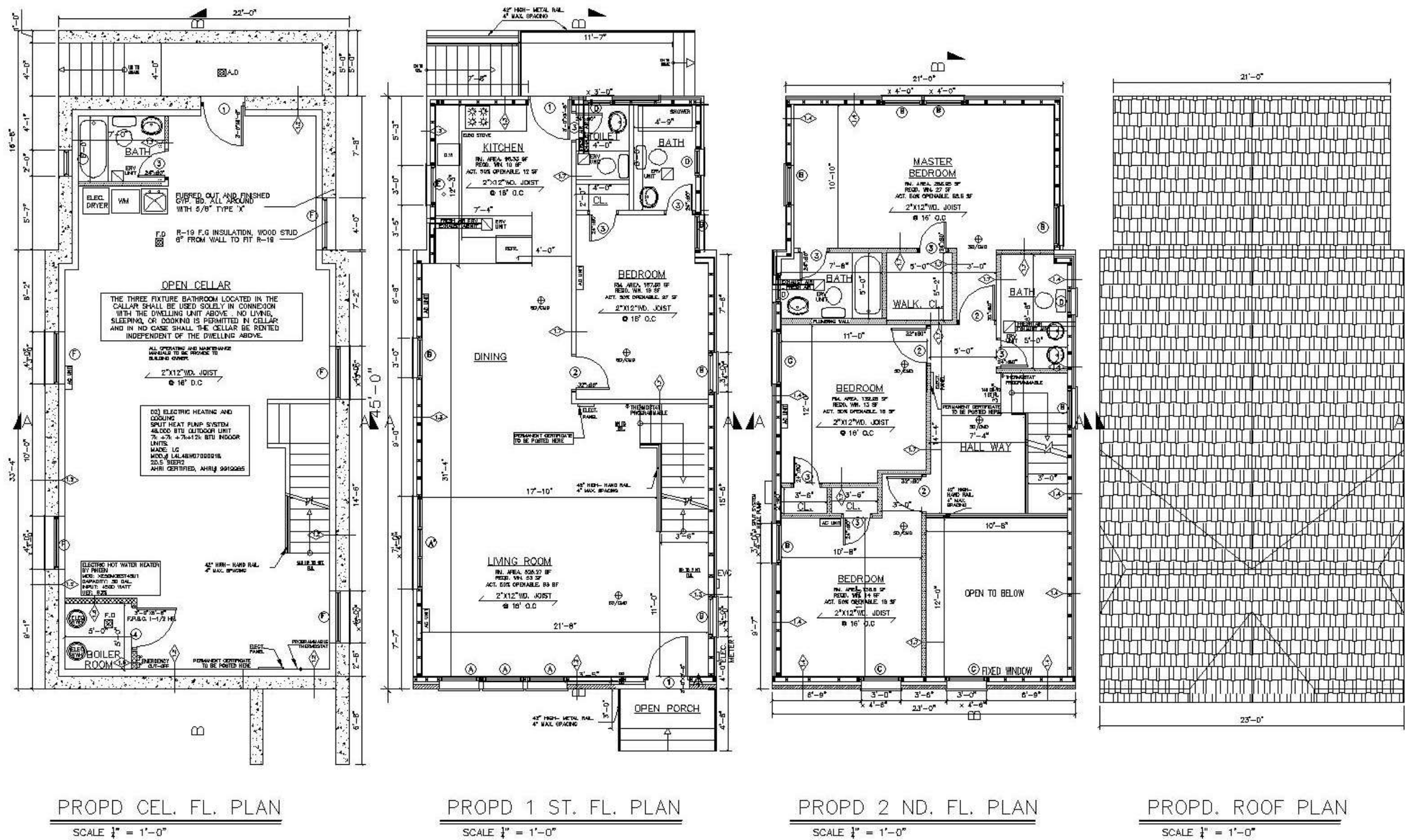
PROPD ROOF PLAN

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

THIS SUBMISSION IS FOR LANDMARK REVIEW ,
THE PROPOSED ELEVATIONS , ALL RENDRINGS
AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC.

BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
LOT : 48 - 49
MAP: 15B
USE GROUP: II
9- PROPOSED FLOOR PLANS

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM



LANDMARK SUBMISSION FOR :
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ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

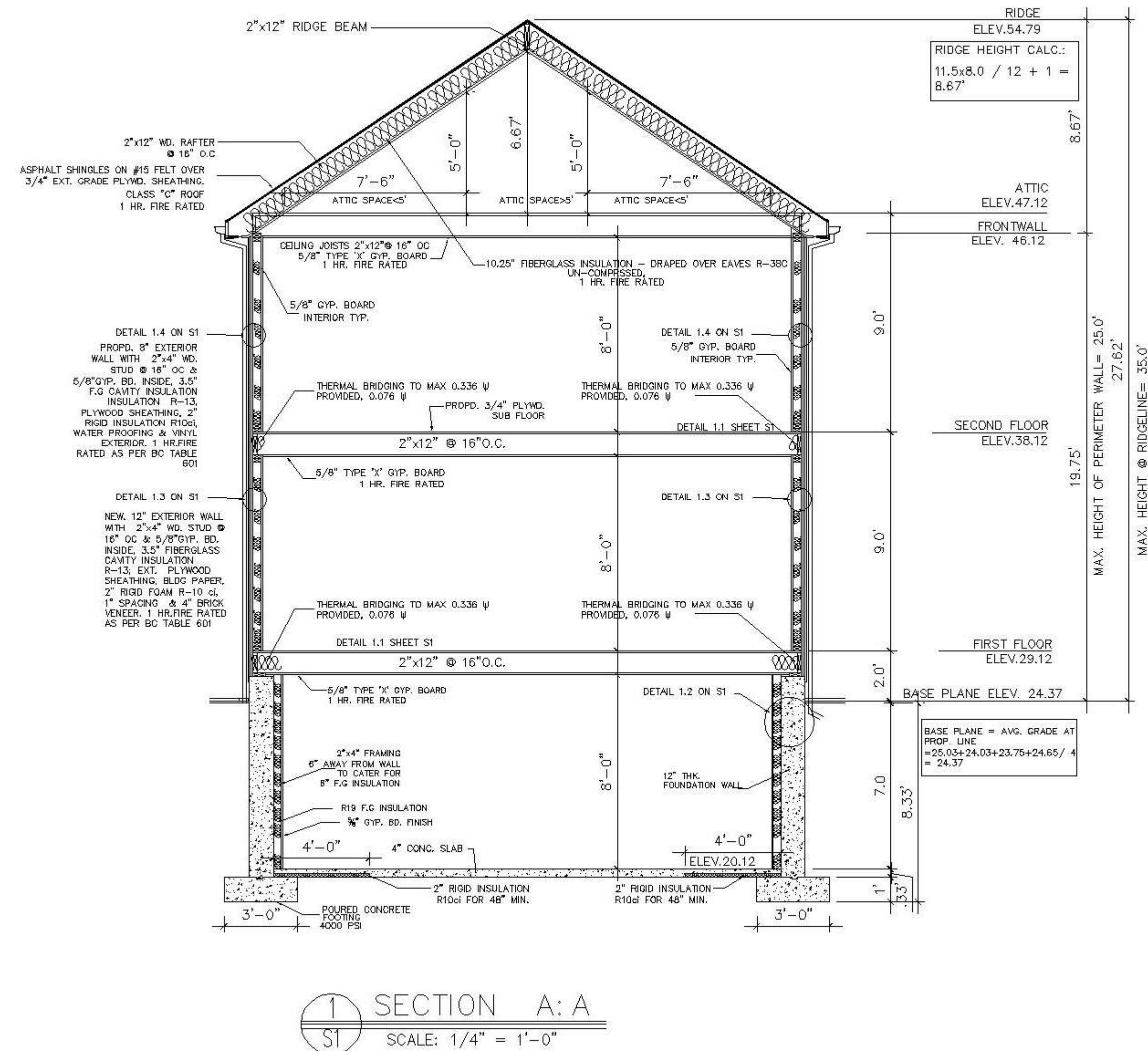
MAP: 15B

USE GROUP: II

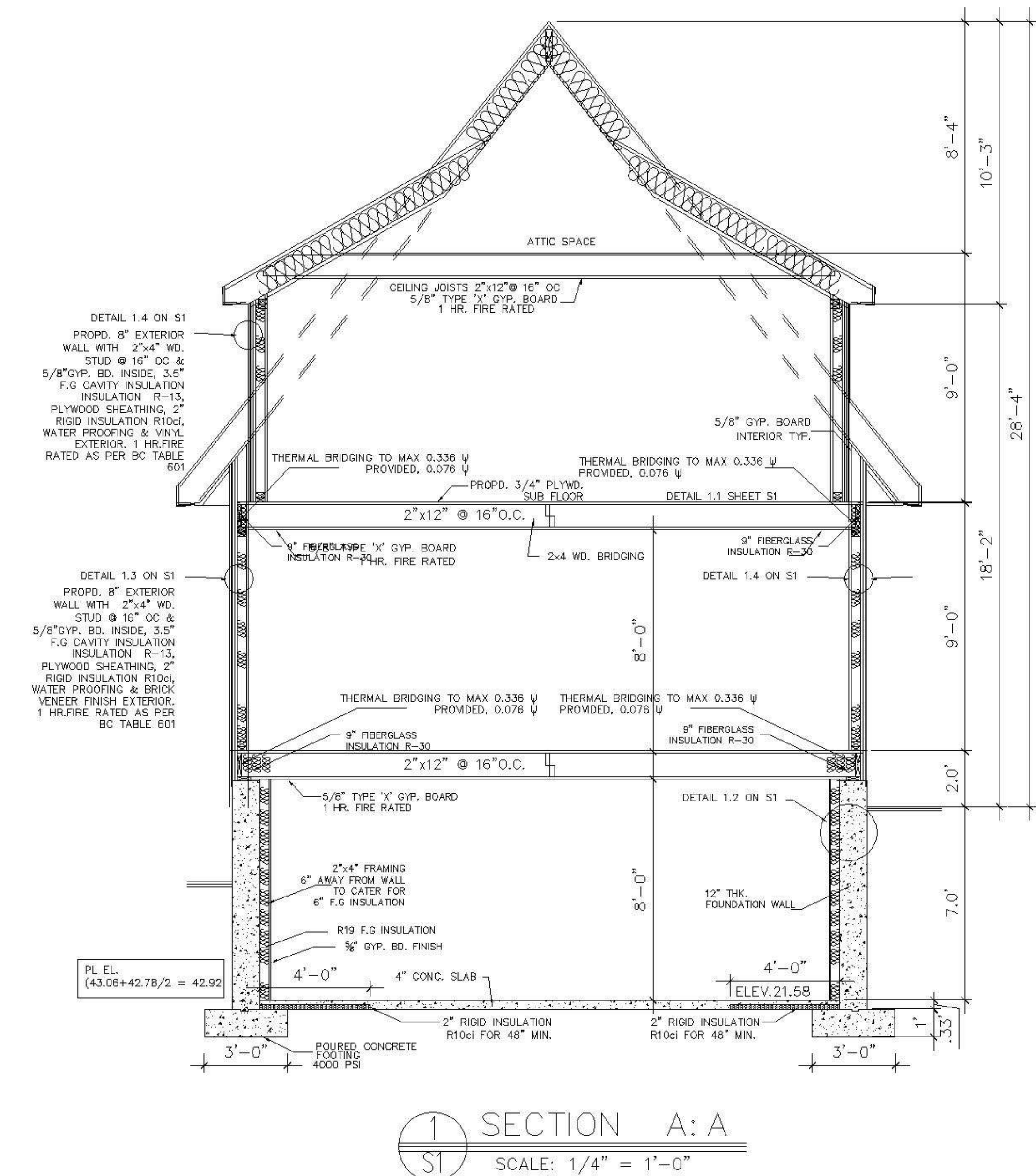
9- PROPOSED FLOOR PLANS

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CURRENT PROPOSAL



CURRENT PROPOSAL



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ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

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FRONT VIEW

LANDMARK SUBMISSION FOR :
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ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

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10- PROPOSED ELEVATIONS



REAR VIEW

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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

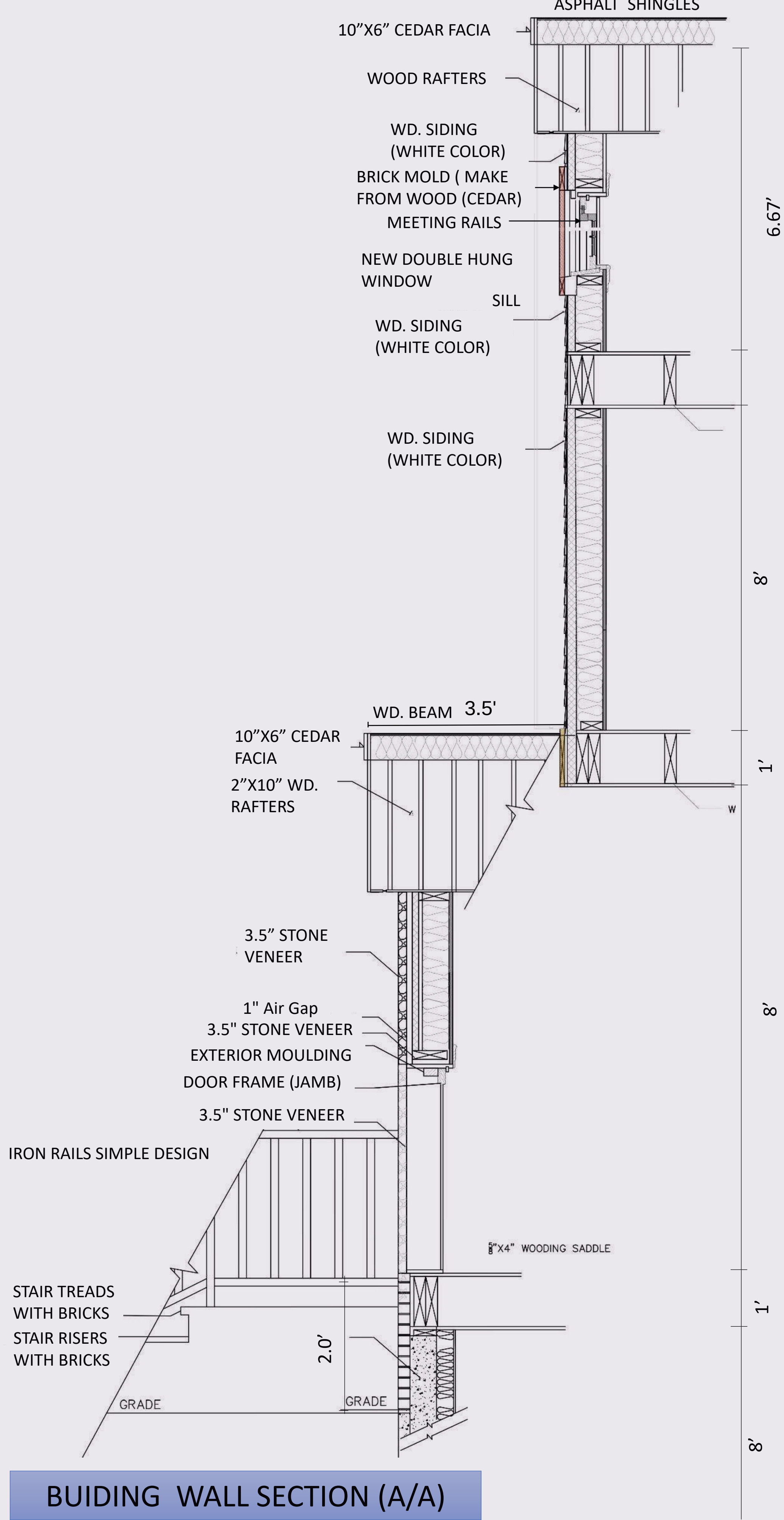
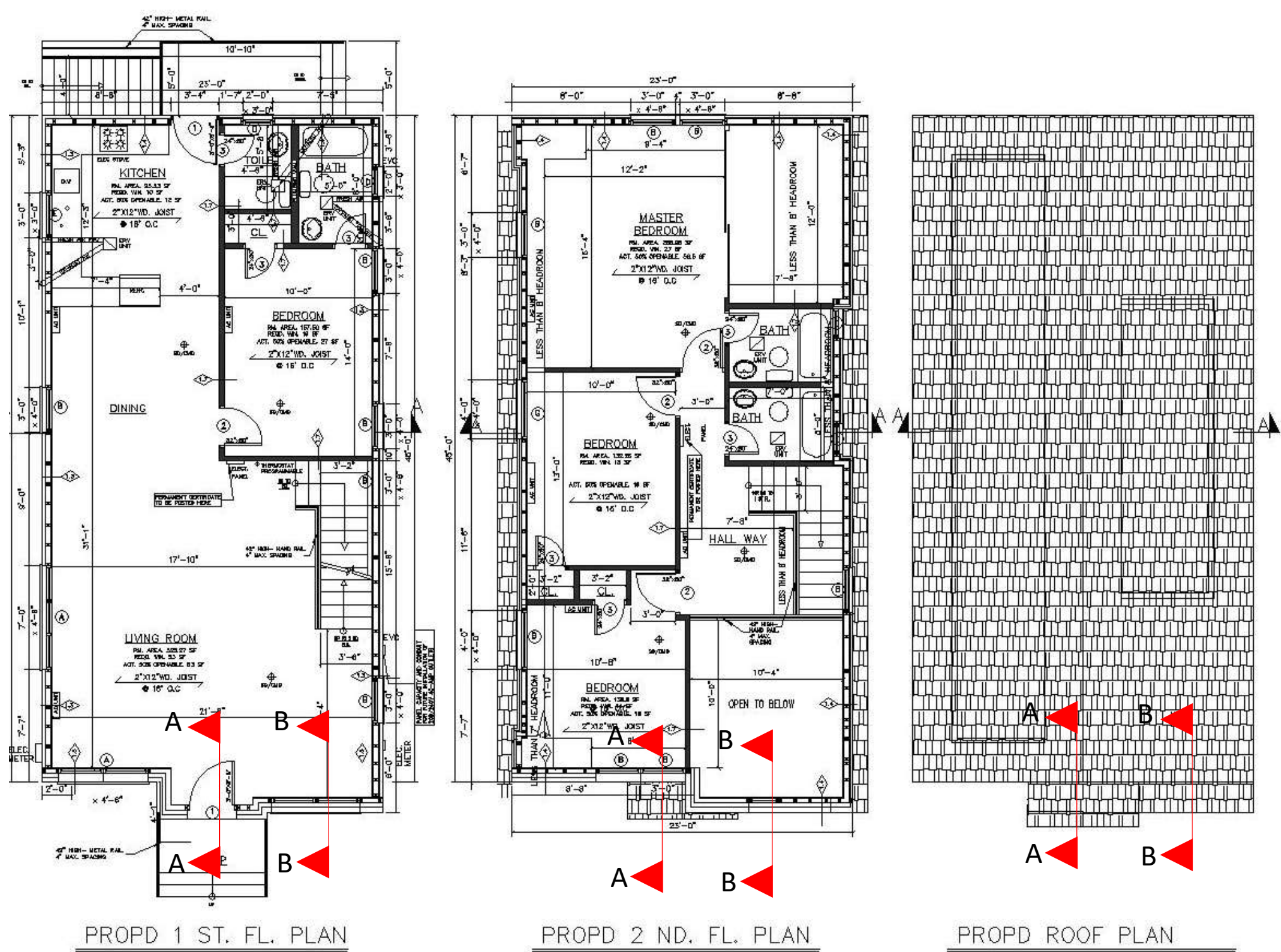
MAP: 15B

USE GROUP: II

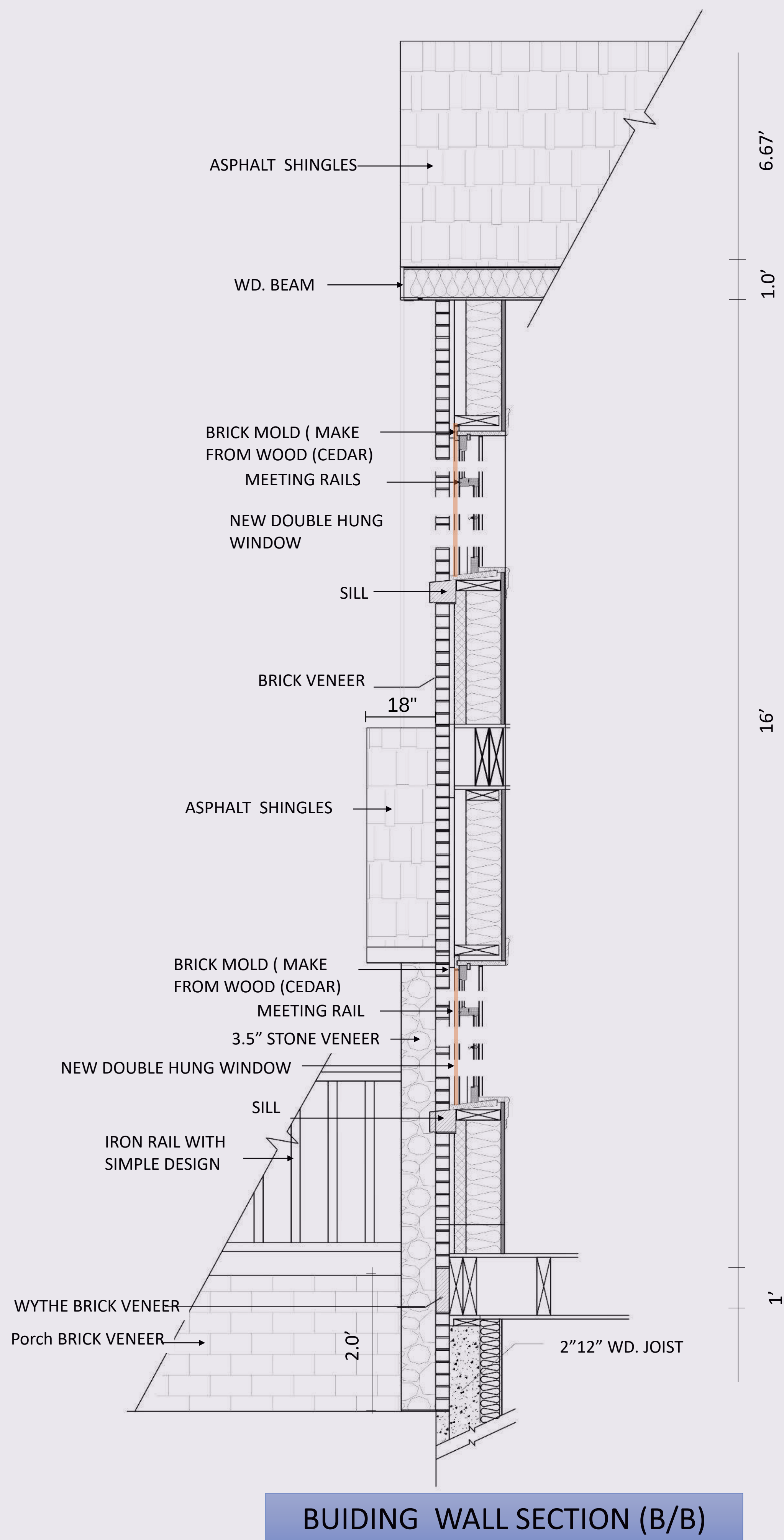
TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
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TABRIZGROUPENT@GMAIL.COM

10- PROPOSED ELEVATIONS

112-24 177 STREET – LOT-48-



BUIDING WALL SECTION (A/A)



BUIDING WALL SECTION (B/B)

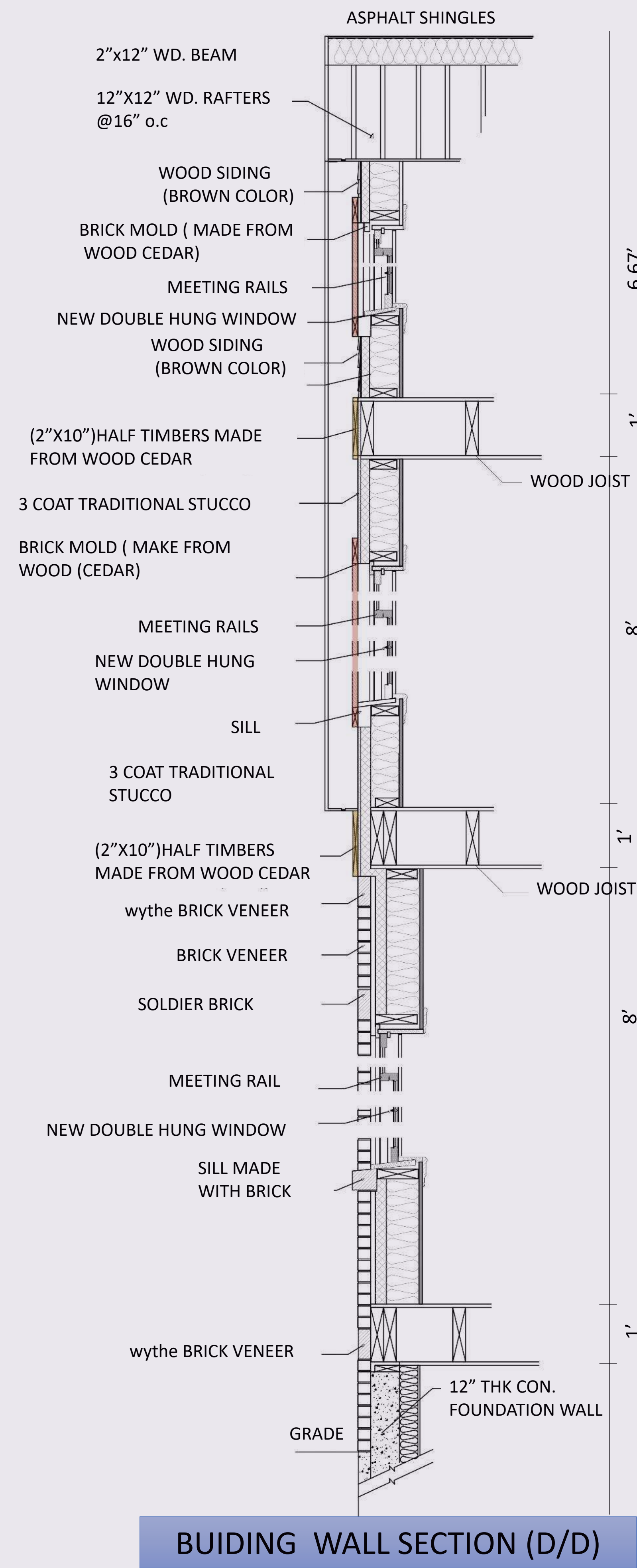
LANDMARK SUBMISSION FOR :
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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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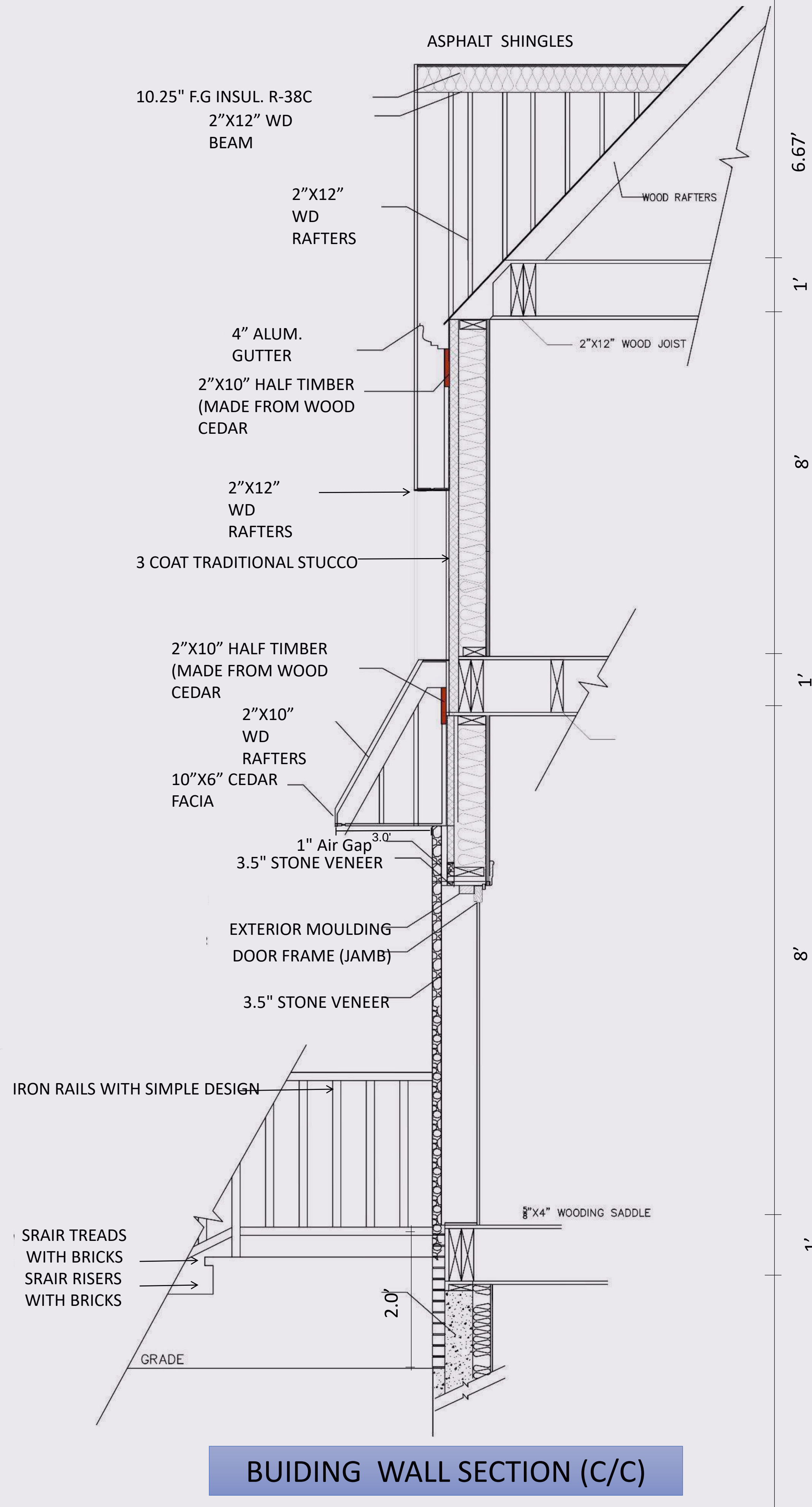
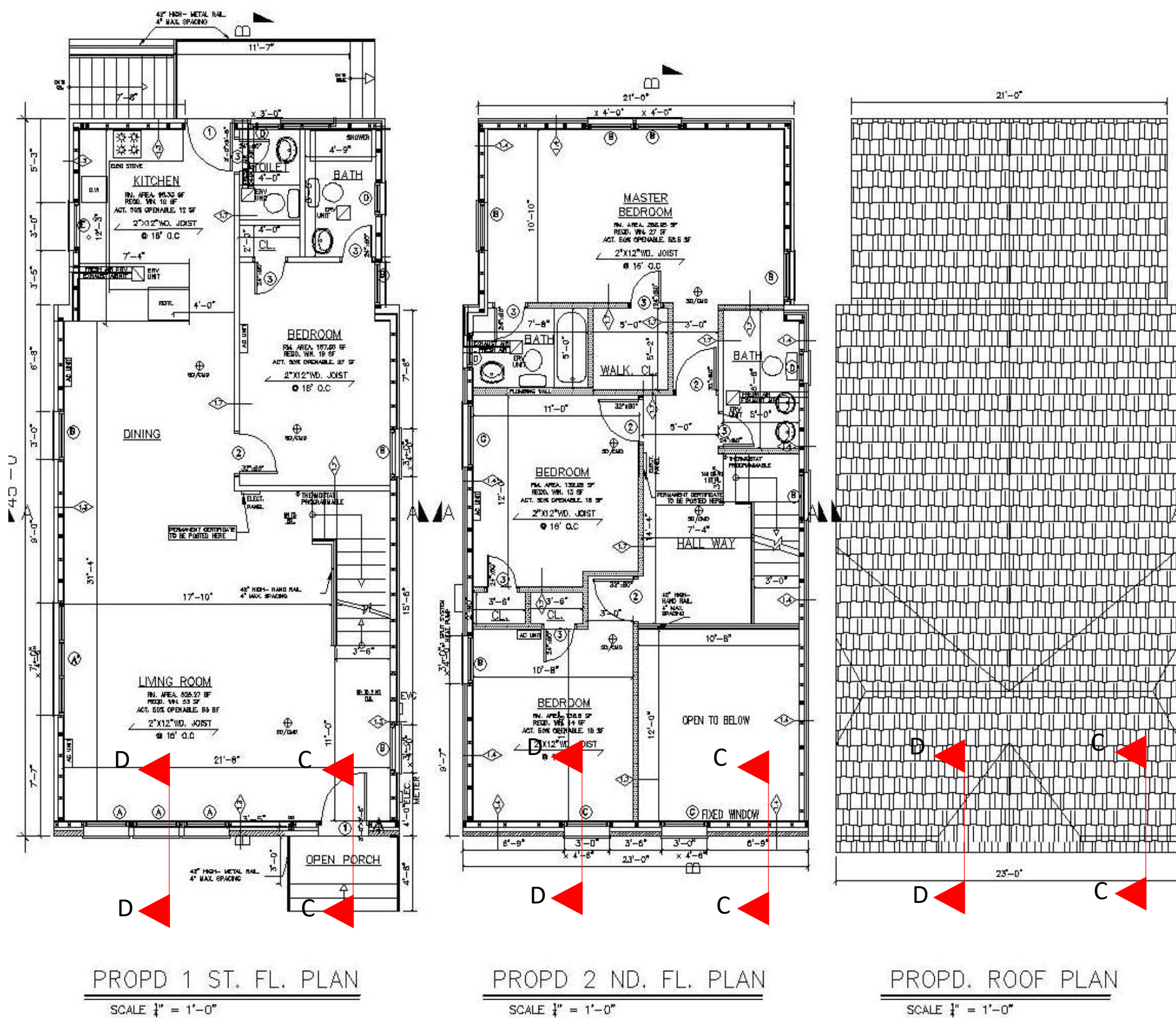
BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
13- DETAILS

LOT : 48 - 49
MAP: 15B
USE GROUP: II

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM



112-28 177 STREET – LOT-49-



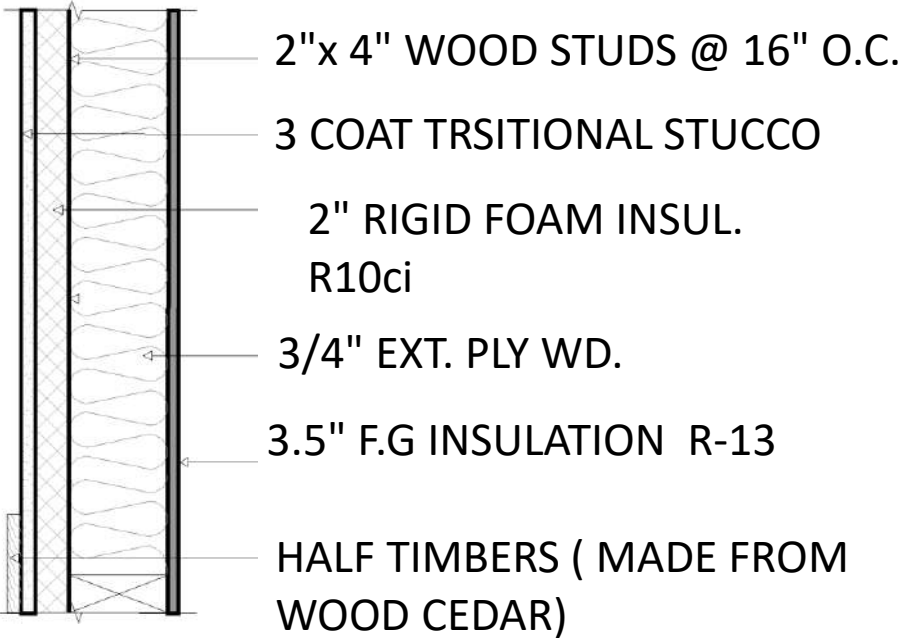
LANDMARK SUBMISSION FOR :
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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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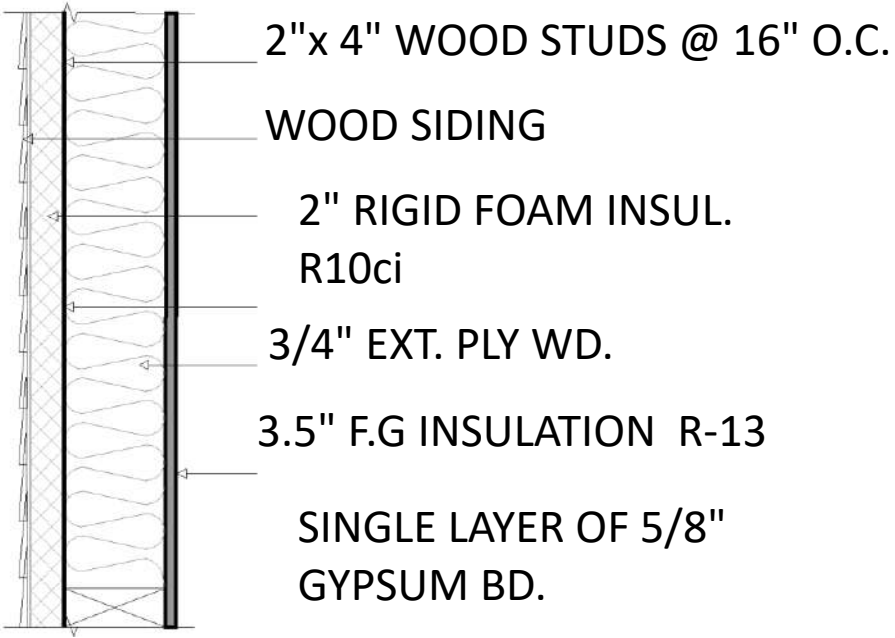
BLOCK: 10299
 ZONING: R2
 OCCUPANCY: R3
 CONSTR.CLASS: 5A
13- DETAILS

LOT : 48 - 49
 MAP: 15B
 USE GROUP: II

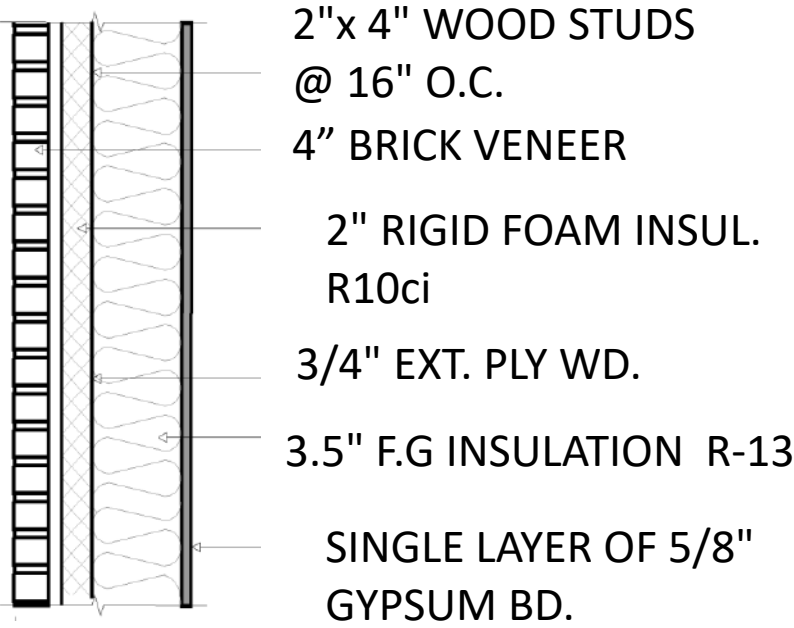
TABRIZ DESIGN GROUP
 117 81 AVENUE
 KEW GARDENS, NY 11415
 PHONE: 718-263-4567
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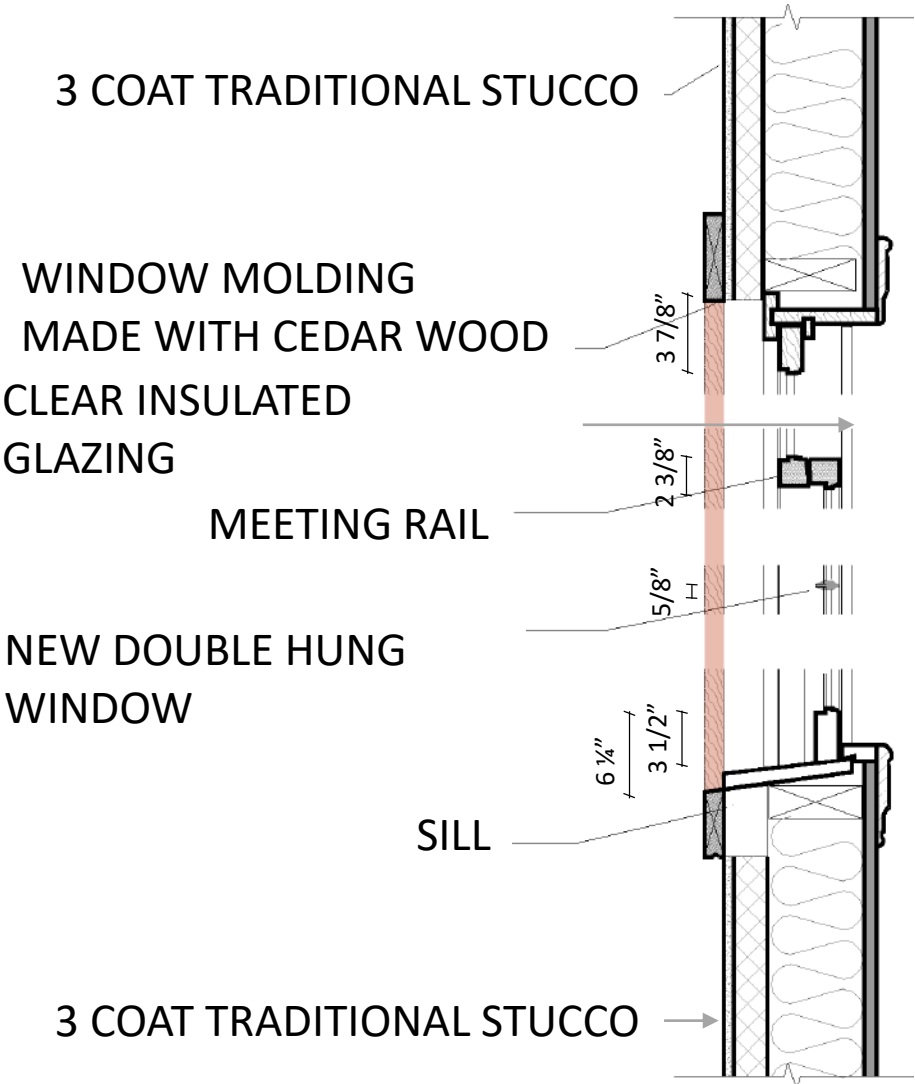
EXTERIOR STUCCO WALL



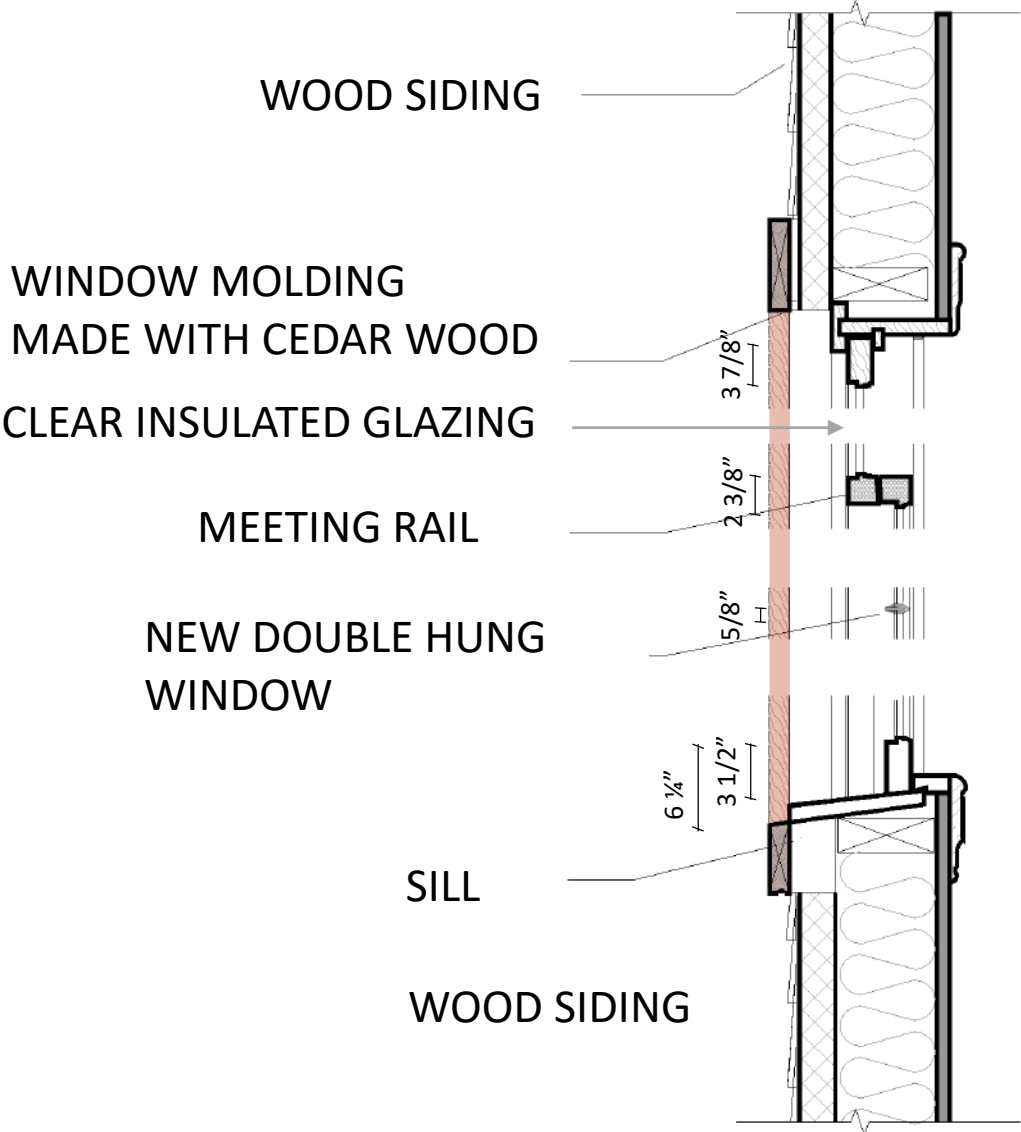
EXTERIOR SIDING WALL



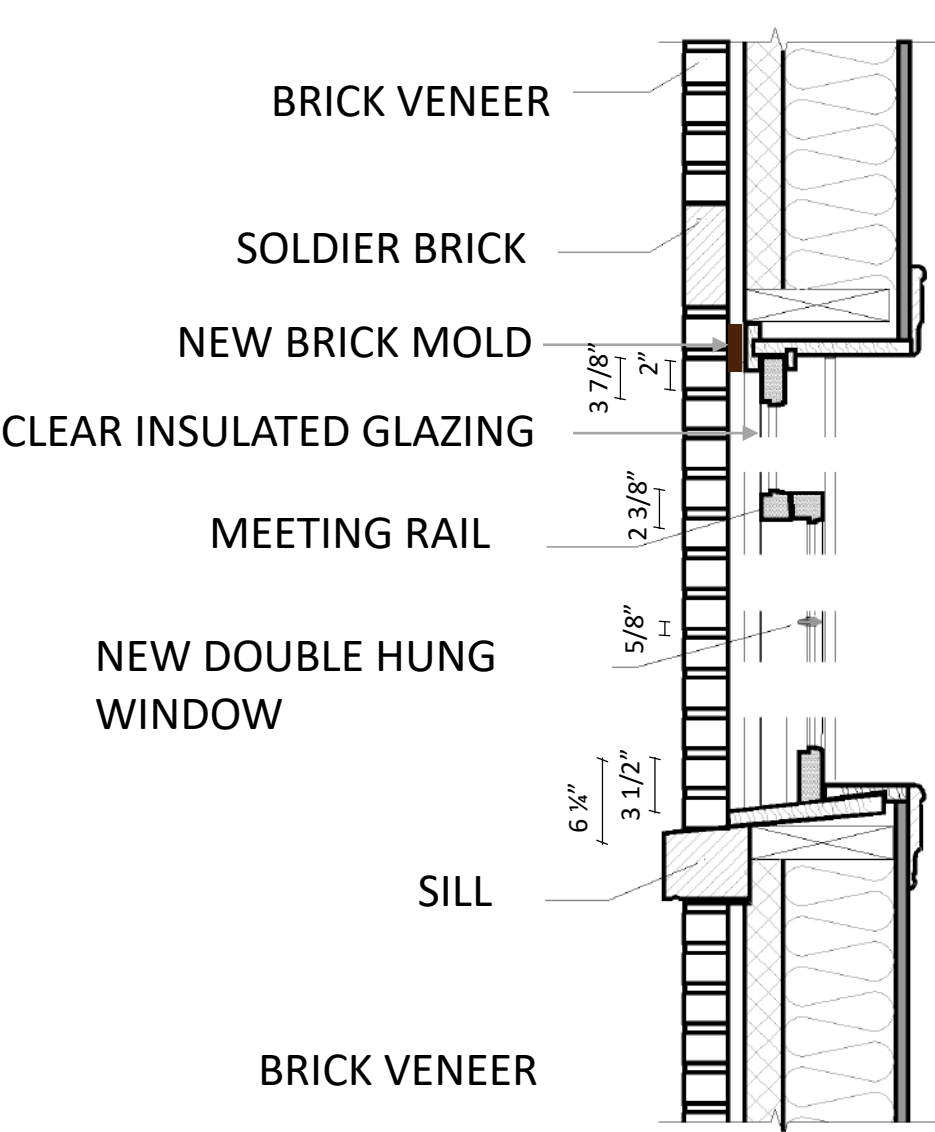
EXTERIOR BRICK VENEER WALL



WINDOW DETAIL WITH STUCCO
WALL



WINDOW DETAIL WITH SIDING
WALL



WINDOW DETAIL WITH BRICK
VENEER WALL

The current proposal is:

Preservation Department – Item 2 & 3, LPC-24-09716 and LPC-24-09715

**112-24 & 112-128 177th Street – Addisleigh Park Historic District
Borough of Queens**

Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed.

APPENDIX

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

2- HISTORIC DISTRICT ORDINANCE

**TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM**

HISTORIC DISTRICT ORDINANCE

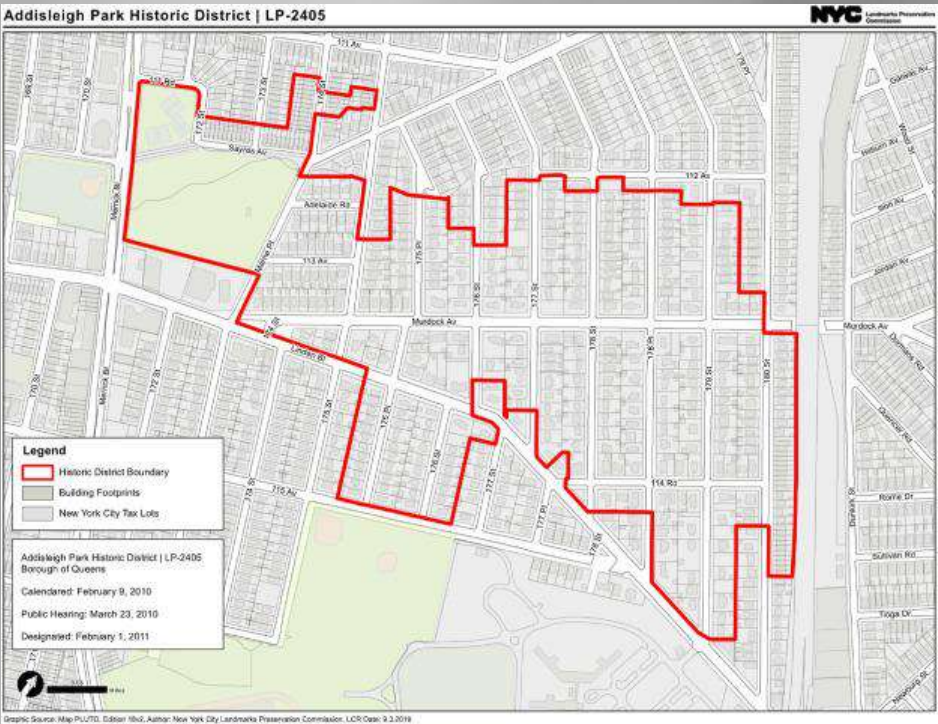
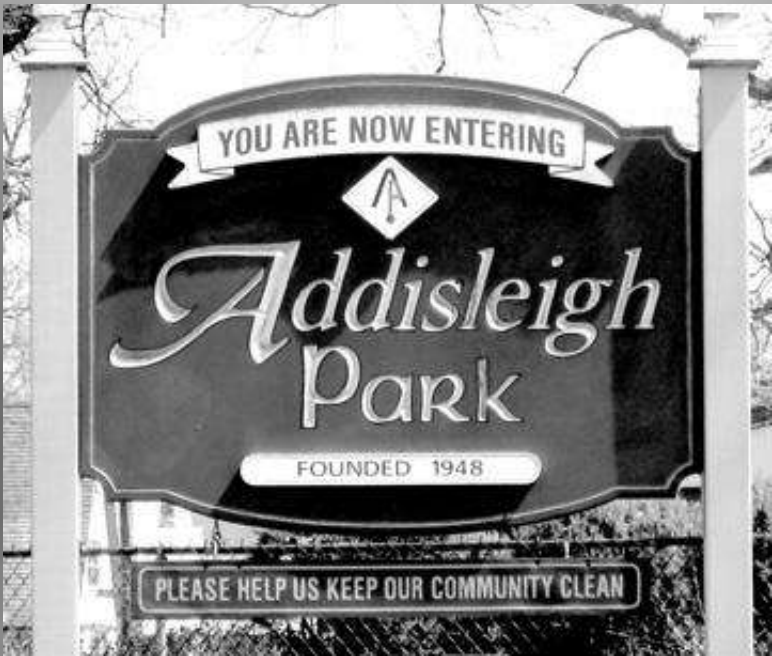
The Addisleigh Park historic district is a suburban-type enclave in southeast Queens with a rich and distinctive history. The neighborhood of approximately 650 homes lies in a rough triangle between Linden Boulevard on the south, the tracks of the Long Island Rail Road on the east, Sayres Avenue on the north and Marne Place on the west. (See map [HERE](#)) Typical of the era, the area possesses fine examples of English Tudor-style and neo-Colonial Revival houses, many of which are quite sizable.

Addisleigh Park was largely developed in the 1930’s as part of the pre-World War II building boom that shaped large swaths of eastern Queens. Architecturally, the buildings are remarkably intact with few examples of inappropriate alterations or teardowns. Original materials such as stucco, wood siding and stone are predominant.

Built when race-restricted covenants dictated the segregation of the city’s neighborhoods, Addisleigh Park eventually transformed from an exclusively white neighborhood into one of New York City’s premier African-American enclaves by the early 1950’s. Lured by the promise of seclusion, quietude, space and beauty, many of the newcomers were world-famous. The area would eventually become home to notables such as Count Basie, Lena Horne, Ella Fitzgerald, Illinois Jacquet, Jackie Robinson, James Brown, Joe Louis, Milt Hinton, Roy Campanella, Percy Sutton, Cootie Williams and many others.

In 2007, the Historic Districts Council, in partnership with the Addisleigh Park Civic Organization, launched a project to document the architectural and social significance of Addisleigh Park. The project includes a survey of the core area of architectural significance, brief summaries on each property, documentation of some of Addisleigh Park’s most prominent residents, interviews with longtime members of the community, and an informational brochure detailing HDC’s findings.

-Adapted from Addisleigh Park Statement of Significance by Jane Cowan



Historic district council/ queens-landmarked/addisleigh-park/

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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
2- HISTORIC DISTRICT ORDINANCE

LOT : 48 - 49
MAP: 15B
USE GROUP: II

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
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TABRIZGROUPENT@GMAIL.COM

5- CLOSE UP PHOTOS (STREETSCAPES)

CONT.



lot 46
112-20 177 STREET 2
story building



lot 44
112-16 177 STREET 2 story
building



lot 41
112-16 177 STREET 1
story building



lot 39
112-06 177 STREET 1
story building



lot 36
112-04 177 STREET 1
story building



lot 34
112-04 177 STREET 1 story
building

MURDOCK STREET



lot 63
176-15 MURDOCK AVENUE
2 story building



lot 59
112-50 177 STREET 1story
building



lot 57
112-44 177 STREET
(GARAGE)



lot 54
112-40 177 STREET 1story
building



lot 52
112-32 177 STREET 1story
building

PROPD. RIDGE
EL.56.25

lot 49
112-28 177 PROPD. STREET
2 story building

lot 48
112-24 177 PROPD. STREET
2 story building

CONT.

LOOKING AT 177 TH STREET



LANDMARK SUBMISSION FOR :
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DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.

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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

5- CLOSE UP PHOTOS (STREETSCAPES)

LOT : 48 - 49
MAP: 15B
USE GROUP: II

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