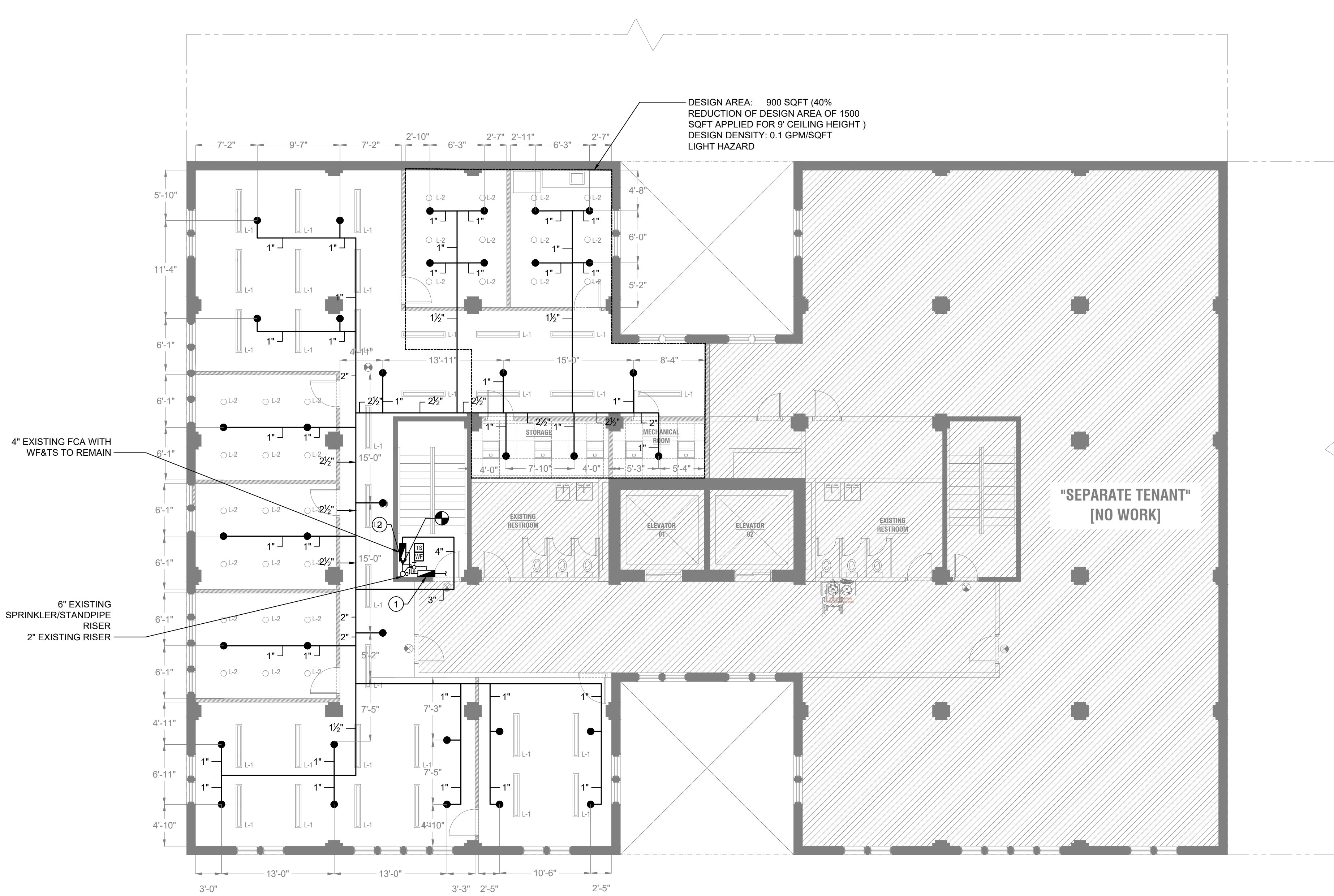


SUMMARY	
PROJECT TYPE:	INTERIOR ALTERATION
JOB DESCRIPTION / SCOPE OF WORK	PARTIAL 6TH & FULL 7TH FLOOR INTERIOR FIT OUT OF GROUP B OCCUPANCY OFFICE TENANT SPACE INCLUDING INSTALLATION OF NON-LOAD BEARING INTERIOR PARTITIONS, FLOOR FINISHES, SUSPENDED CEILINGS, PERFORM REPAIRS IN STAIR B AT 6TH – 7TH FLOOR RUNS, RENOVATE 7TH FLOOR BATHROOMS TO PROVIDE ACCESSIBILITY, NEW PANTRIES AND DRINKING FOUNTAINS AT THE 6TH & 7TH FLOORS, STRUCTURAL WORK TO ACCOMMODATE NEW LOADS, UPGRADED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK. NO CHANGE TO USE, EGRESS, OR OCCUPANCY. DEMOLITION / ABATEMENT PREVIOUSLY COMPLETED AND SIGNED OFF BY OTHERS UNDER SEPARATE APPLICATION.
STORIES	9 STORIES + CELLAR (HIGH-RISE)
OCCUPANCY	B, OFFICE
CONSTRUCTION CLASS	1968 CODE, CONSTRUCTION CLASS I-C, FULLY SPRINKLERED
EXISTING BUILDING AREA (SF) INCLUDING SUBGRADE LEVELS	88,000 (10 FLOORS AT 8,800 SF EACH)
PRIOR CODE BUILDING (Y/N)?	Y, 1968 CODE

EBC CONSIDERATIONS	
WORK AREA (SF)	3,461 SF ON 6TH FLOOR + 7,878 SF ON 7TH FLOOR = 11,339 SF
WORK AREA / EXIST. BUILDING AREA %	12.89%
WORK AREA RELATIVE TO BUILDING AREA	<50%
EBC ALTERATION LEVEL (LEVEL 1 OR LEVEL 2)	LEVEL 1
CHANGE OF OCCUPANCY (Y/N)?	N
ADDITION (Y/N)?	N
TENANT/OCCUPANT PROTECTION PLAN REQUIRED?	BUILDING IS OCCUPIED BY NON-RESIDENTIAL TENANTS, OPP REQUIRED.
APPLICABLE EBC CHAPTERS	CHAPTER 3 – GENERAL APPLICABLE PROVISIONS / CHAPTER 7 - STRUCTURAL CHAPTER 8 – ALTERATION LEVEL 1 / CHAPTER 15 – SAFETY IN OCCUPIED BUILDINGS CHAPTER 15 - SAFETY IN OCCUPIED BUILDINGS
CERTIFICATE OF OCCUPANCY REQUIRED (AC 28-118) (Y/N)?	N

FIRE PROTECTION				
SECTION	SUBJECT	REQUIREMENTS	APPLIES?	COMPLIANCE
304.3	PAINTING REQUIREMENTS FOR STANDPIPE SYSTEMS.	THE PAINTING REQUIREMENTS FOR STANDPIPE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS 304.3.1 THROUGH 304.3.3.	Y	COMPLIES. EXISTING STANDPIPE AND SPRINKLER RISERS IN STAIR B SHALL BE PAINTED IN ACCORDANCE WITH SECTION 304.3.
804.2.1	AUTOMATIC SPRINKLER SYSTEMS.	IN HIGH-RISE BUILDINGS, WORK AREAS THAT HAVE EXITS OR CORRIDORS SHARED BY MORE THAN 1 TENANT OR THAT HAVE EXITS OR CORRIDORS SERVING AN OCCUPANT LOAD GREATER THAN 30 SHALL BE PROVIDED WITH AUTOMATIC SPRINKLER PROTECTION IN THE ENTIRE WORK AREA WHERE THE WORK AREA IS LOCATED ON A FLOOR THAT HAS A SUFFICIENT SPRINKLER WATER SUPPLY FROM AN EXISTING STANDPIPE, COMBINED STANDPIPE OR A SPRINKLER RISER SERVING THAT FLOOR. EXCEPTION: IF A BUILDING DOES NOT HAVE SUFFICIENT WATER SUPPLY FOR DESIGN OF A FIRE SPRINKLER SYSTEM AVAILABLE TO THE FLOOR WITHOUT INSTALLATION OF A NEW FIRE PUMP OR NEW WATER SOURCE CONNECTION, WORK AREAS SHALL BE PROTECTED THROUGHOUT ALL OCCUPIABLE SPACES NOT INCLUDING THOSE IN SLEEPING UNITS OR INDIVIDUAL DWELLING UNITS, AND THROUGHOUT COMMON AREAS AND WORK SPACES SUCH AS CORRIDORS, LOBBIES, STORAGE ROOMS, AND EQUIPMENT ROOMS, BY A PARTIAL COVERAGE SMOKE DETECTION SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTIONS 907.4, 907.5 AND 907.6 OF THE NEW YORK CITY BUILDING CODE.	Y	COMPLIES. BUILDING IS FULLY SPRINKLERED AND THE SCOPE OF WORK INCLUDES RELOCATION OF SPRINKLER HEADS AS REQUIRED, BASED ON UPDATED LAYOUT.
804.2.1.1	SUPPLEMENTAL AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS.	WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50% OF THAT FLOOR AREA, SECTION 804.2.1 SHALL APPLY TO THE ENTIRE FLOOR ON WHICH THE WORK AREA IS LOCATED.	Y	COMPLIES. SUPPLEMENTAL REQUIREMENTS APPLY TO 7 FLOOR WHERE THE WORK AREA IS > THAN 50% OF THAT FLOOR AREA. BUILDING IS FULLY SPRINKLERED.
804.3	STANDPIPES.	STANDPIPE REQUIRED IN WORK AREA	Y	COMPLIES. EXISTING STANDPIPE IN STAIR B SHALL BE MAINTAINED DURING REPAIRS
1506.1	SPRINKLER SYSTEMS DURING ALTERATION OR DEMOLITION.	EXISTING SPRINKLER SYSTEMS IN BUILDINGS UNDERGOING AN ALTERATION OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF BC SECTION 3303.7.4 AND EBC SECTION 1506.2. STANDPIPE TO COMPLY WITH BC 3303.8	Y	COMPLIES. APPROVAL FROM FDNY SHALL BE OBTAINED FOR RENDERING THE SPRINKLER SYSTEM INOPERABLE FOR THE DURATION OF RENOVATIONS AND TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED
1506.2	SPRINKLER PROTECTION DURING CONSTRUCTION IN FULLY SPRINKLERED BUILDINGS.	WHERE ALTERATIONS ARE PROPOSED TO A FLOOR ON WHICH THE SPRINKLER SYSTEM IS TO BE TEMPORARILY DISCONNECTED IN THE WORK AREA, TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1506.2.1 THROUGH 1506.2.5. ALTERATIONS SHALL COMPLY WITH THE NYC FIRE CODE.	Y	COMPLIES. TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED 6TH FLOOR, WILL BE PARTIALLY OCCUPIED DURING RENOVATIONS. CONSTRUCTION DOES NOT MEET EBC 1506.2.2 CONDITIONS FOR TCSP EXCEPTION AND THEREFORE TCSP IS REQUIRED.
1506.2.3	TCSP ON UNOCCUPIED FLOOR.	SPRINKLER TO BE LOCATED AT APPROPRIATE HEIGHT TO CLEAR DUCTWORK IN ACCORDANCE WITH NYC BC 903.	Y	ON 7TH FLOOR THE ENTIRE FLOOR IS UNOCCUPIED DURING CONSTRUCTION.
1506.2.4	ALTERATION WORK TAKES A YEAR OR LONGER.	PROVIDE SPRINKLER COVERAGE ACCORDING TO BC 903. INSTEAD TO TCSP	Y	THE ALTERATION WORK DOES NOT EXCEED 1 YEAR.



1 6TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

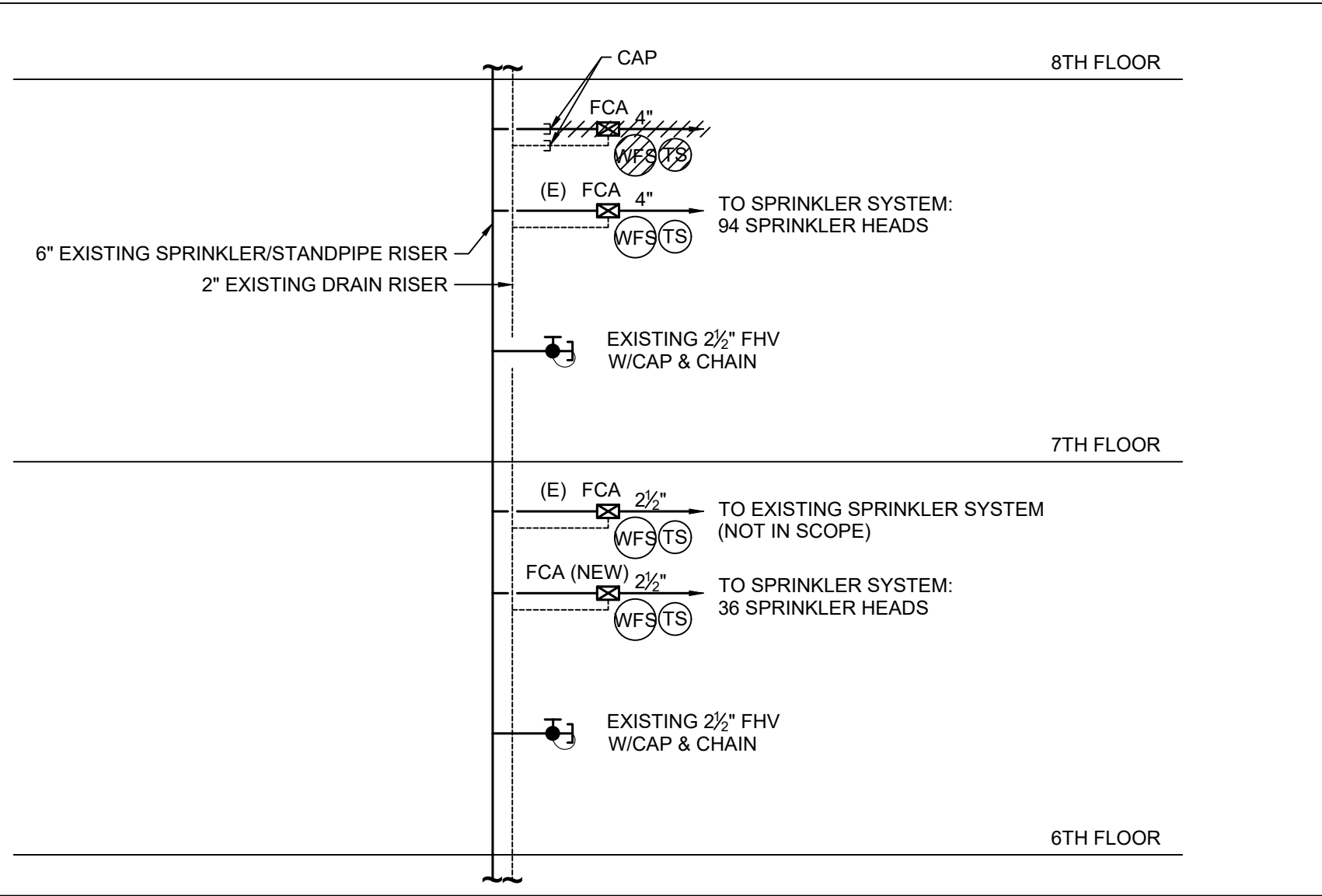
SERVICE NOTE:
EXISTING SYSTEM HAS
SUFFICIENT WATER SUPPLY
AND PRESSURE

DEMOLITION NOTES:

- EXISTING TO REMAIN FCA WWF&TS AND ALL RELATED SPRINKLER HEADS AND PIPING SERVING TENANT BEYOND DEMISING WALL.
- PROVIDE AND INSTALL NEW FCA WITH TS&WF. INSTALL NEW SPRINKLER HEADS AND PIPING AS SHOWN.

GENERAL NOTES:

- WHERE ALTERATIONS ARE PROPOSED TO A FLOOR ON WHICH THE SPRINKLER SYSTEM IS TO BE TEMPORARILY DISCONNECTED IN THE WORK AREA, TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1506.2.1 THROUGH 1506.2.5. ALTERATIONS SHALL COMPLY WITH THE NYC FIRE CODE.
- THE PAINTING REQUIREMENTS FOR STANDPIPE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS 304.3.1 THROUGH 304.3.3..
- OWNER SHALL NOTIFY THE FDNY OF SPRINKLER SYSTEM DISCONNECTION BY SUBMITTING A LETTER OF NOTIFICATION.
- THE SPRINKLER SYSTEMS ARE TO BE HYDROSTATIC TESTED FOR A (1) HOUR MINIMUM AT 200 PSI PRESSURE.
- CONTRACTOR TO PROVIDE TCSP



2 SPRINKLER/STANDPIPE - PART RISER DIAGRAM
NOT TO SCALE

PROJECT:

EBC Case Study #1

OWNER:



ARCHITECT:

FIRM NAME

[Address1]
[Address2]

MEP ENGINEER:

STRUCTURAL ENGINEER:

FACADE ARCHITECT:

DOB APPROVAL STAMP:

DOB JOB NUMBER/STICKER:

SEAL:

DRAWING TITLE:

SPRINKLER
6TH FLOOR PLAN

PROJECT #: XX-XX

DATE: 03.05.2021

SHEET TITLE:

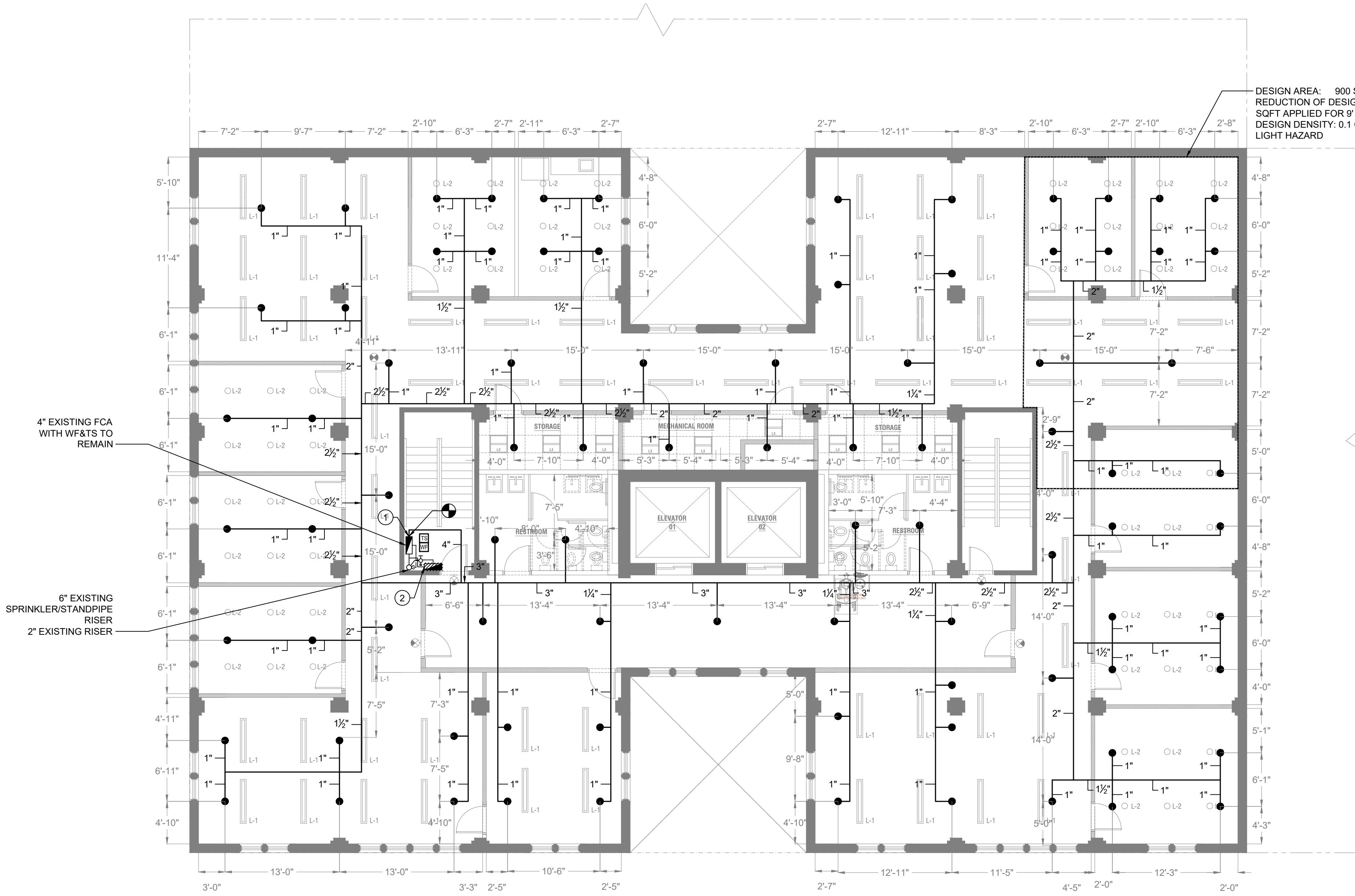
PAGE: OF XX

SP-100.00

SUMMARY	
PROJECT TYPE:	INTERIOR ALTERATION
JOB DESCRIPTION / SCOPE OF WORK	PARTIAL 6TH & FULL 7TH FLOOR INTERIOR FIT OUT OF GROUP B OCCUPANCY OFFICE TENANT SPACE INCLUDING INSTALLATION OF NON-LOAD BEARING INTERIOR PARTITIONS, FLOOR FINISHES, SUSPENDED CEILINGS, PERFORM REPAIRS IN STAIR B AT 6TH – 7TH FLOOR RUNS. RENOVATE 7TH FLOOR BATHROOMS TO PROVIDE ACCESSIBILITY, NEW PAINTRIES AND DRINKING FOUNTAINS AT THE 6TH & 7TH FLOORS. STRUCTURAL WORK TO ACCOMMODATE NEW LOADS, UPGRADED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK. NO CHANGE TO USE, EGRESS, OR OCCUPANCY. DEMOLITION / ABATEMENT PREVIOUSLY COMPLETED AND SIGNED OFF BY OTHERS UNDER SEPARATE APPLICATION.
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OCCUPANCY	B, OFFICE
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PRIOR CODE BUILDING (Y/N)?	Y, 1968 CODE

EBC CONSIDERATIONS	
WORK AREA (SF)	3,461 SF ON 6TH FLOOR + 7,878 SF ON 7TH FLOOR = 11,339 SF
WORK AREA / EXIST. BUILDING AREA %	12.89%
WORK AREA RELATIVE TO BUILDING AREA	<50%
EBC ALTERATION LEVEL (LEVEL 1 OR LEVEL 2)	LEVEL 1
CHANGE OF OCCUPANCY (Y/N)?	N
ADDITION (Y/N)?	N
TENANT/OCCUPANT PROTECTION PLAN REQUIRED?	BUILDING IS OCCUPIED BY NON-RESIDENTIAL TENANTS, OPP REQUIRED.
APPLICABLE EBC CHAPTERS	CHAPTER 3 – GENERAL APPLICABLE PROVISIONS / CHAPTER 7 - STRUCTURAL CHAPTER 8 – ALTERATION LEVEL 1 / CHAPTER 15 – SAFETY IN OCCUPIED BUILDINGS CHAPTER 15 - SAFETY IN OCCUPIED BUILDINGS
CERTIFICATE OF OCCUPANCY REQUIRED (AC 28-118) (Y/N)?	N

FIRE PROTECTION				
SECTION	SUBJECT	REQUIREMENTS	APPLIES?	COMPLIANCE
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1506.2	SPRINKLER PROTECTION DURING CONSTRUCTION IN FULLY SPRINKLERED BUILDINGS.	WHERE ALTERATIONS ARE PROPOSED TO A FLOOR ON WHICH THE SPRINKLER SYSTEM IS TO BE TEMPORARILY DISCONNECTED IN THE WORK AREA, TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1506.2.1 THROUGH 1506.2.5. ALTERATIONS SHALL COMPLY WITH THE NYC FIRE CODE.	Y	COMPLIES. TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED 6TH FLOOR, WLL BE PARTIALLY OCCUPIED DURING RENOVATIONS. CONSTRUCTION DOES NOT MEET EBC 1506.2.2 CONDITIONS FOR TCSP EXCEPTION AND THEREFORE TCSP IS REQUIRED.
1506.2.3	TCSP ON UNOCCUPIED FLOOR.	SPRINKLER TO BE LOCATED AT APPROPRIATE HEIGHT TO CLEAR DUCTWORK IN ACCORDANCE WITH NYC BC 903.	Y	ON 7TH FLOOR THE ENTIRE FLOOR IS UNOCCUPIED DURING CONSTRUCTION.
1506.2.4	ALTERATION WORK TAKES A YEAR OR LONGER.	PROVIDE SPRINKLER COVERAGE ACCORDING TO BC 903, INSTEAD TO TCSP	Y	THE ALTERATION WORK DOES NOT EXCEED 1 YEAR.



1 7TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

SERVICE NOTE:

EXISTING SYSTEM HAS
SUFFICIENT WATER SUPPLY
AND PRESSURE

DEMOLITION NOTES:

- DISCONNECT AND REMOVE ALL EXISTING SPRINKLER HEADS AND PIPING DOWNSTREAM OF FCA. FCA TO BE REUSED. REMOVE ALL REMOVED PIPE HANGERS.
- DISCONNECT AND REMOVE EXISTING FCA AND ALL SPRINKLER HEADS AND PIPING DOWNSTREAM OF FCA. REMOVE ALL REMOVED PIPE HANGERS.

GENERAL NOTES:

- WHERE ALTERATIONS ARE PROPOSED TO A FLOOR ON WHICH THE SPRINKLER SYSTEM IS TO BE TEMPORARILY DISCONNECTED IN THE WORK AREA, TEMPORARY CORE SPRINKLER PROTECTION (TCSP) SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1506.2.1 THROUGH 1506.2.5. ALTERATIONS SHALL COMPLY WITH THE NYC FIRE CODE.
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- THE SPRINKLER SYSTEMS ARE TO BE HYDROSTATIC TESTED FOR A (1) HOUR MINIMUM AT 200 PSI PRESSURE.
- CONTRACTOR TO PROVIDE TCSP

PROJECT:

EBC Case Study #1

OWNER:



ARCHITECT:

FIRM NAME

[Address1]

[Address2]

MEP ENGINEER:

STRUCTURAL ENGINEER:

FACADE ARCHITECT:

DOB APPROVAL STAMP:

DOB JOB NUMBER/STICKER:

SEAL:

DRAWING TITLE:

SPRINKLER
7TH FLOOR PLAN

PROJECT #:

DATE: 03/05/2021

SHEET TITLE:

PAGE:

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SP-101.00