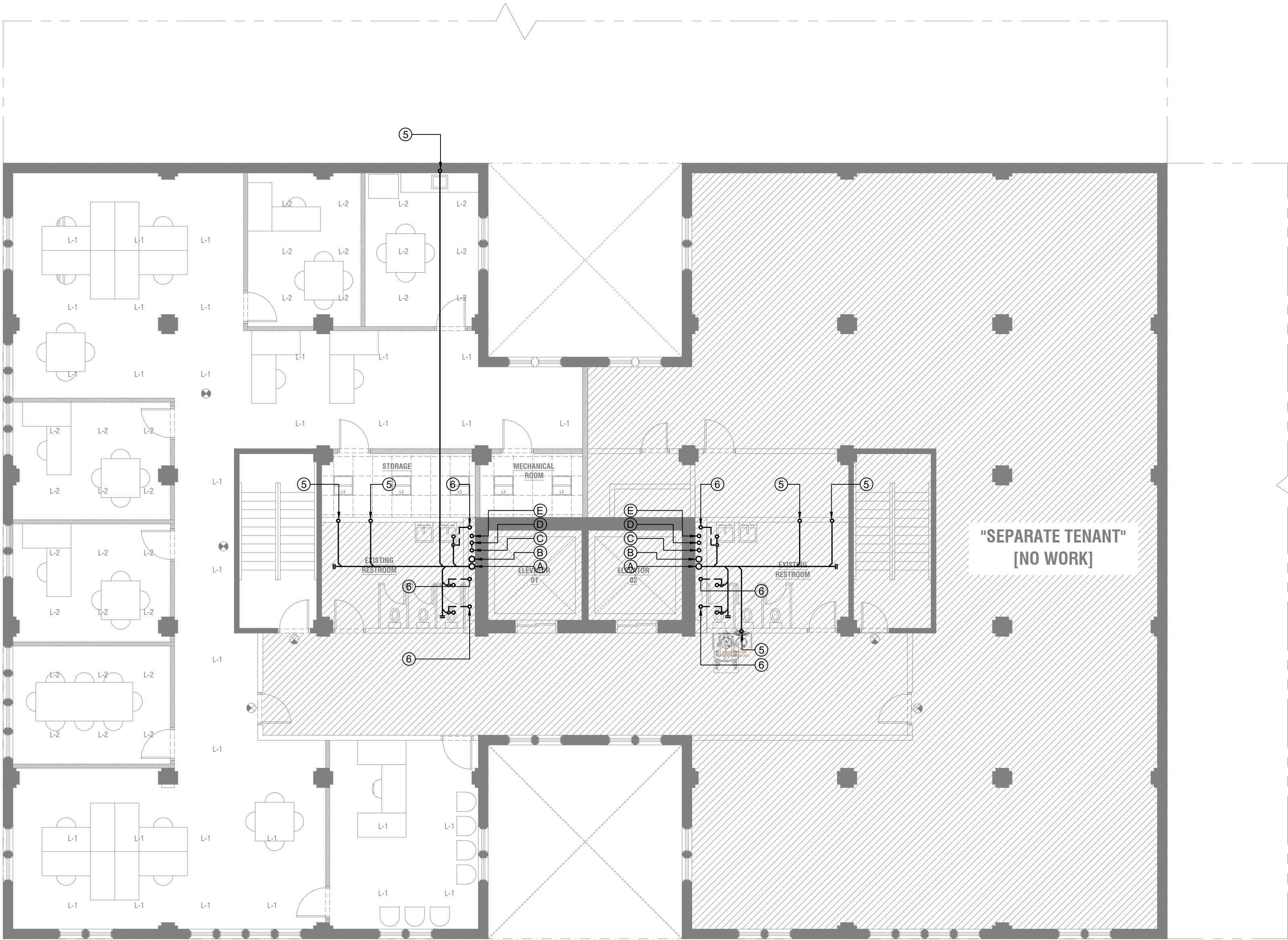


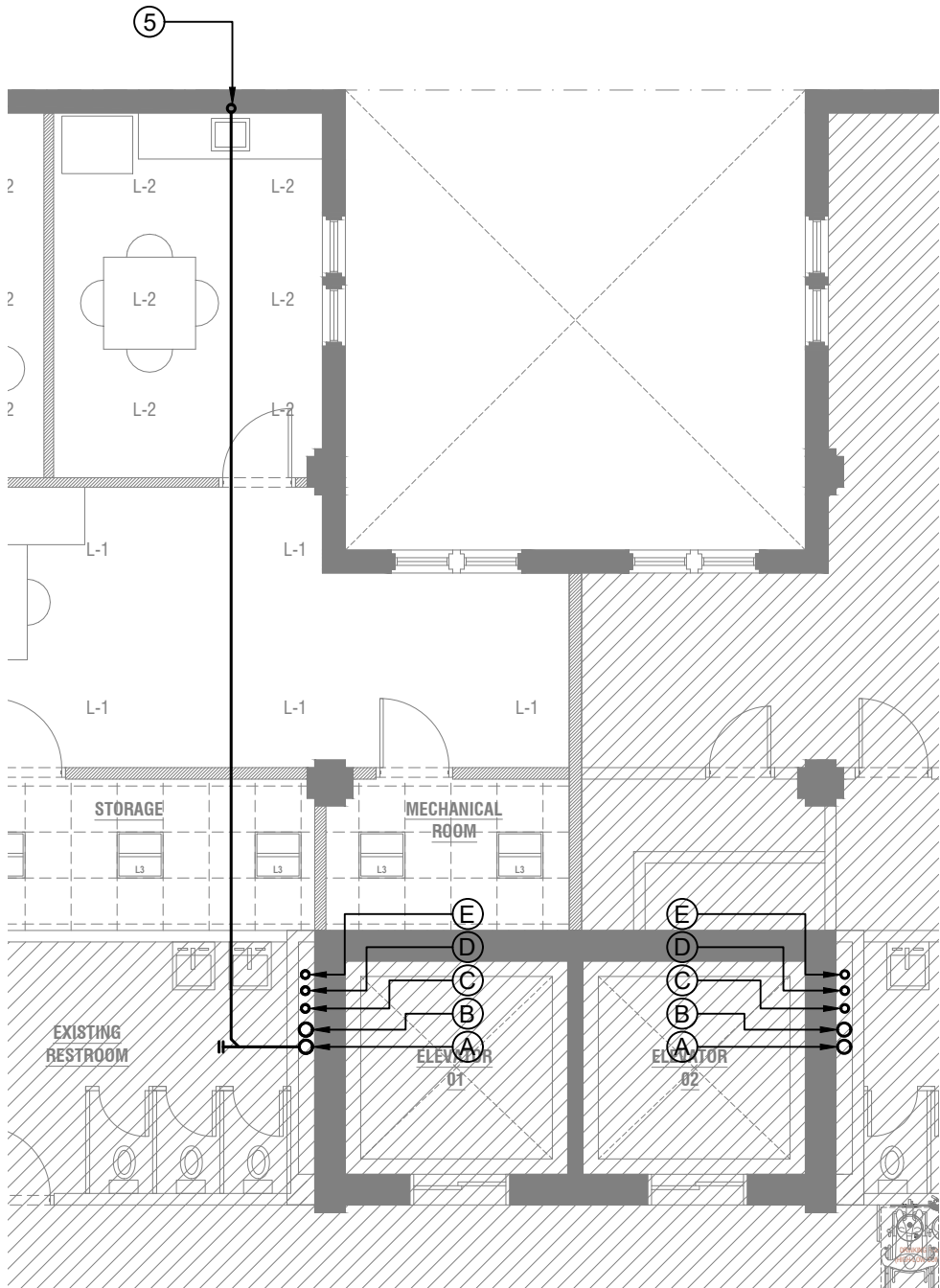
SUMMARY	
PROJECT TYPE:	INTERIOR ALTERATION
JOB DESCRIPTION / SCOPE OF WORK	PARTIAL 6TH & FULL 7TH FLOOR INTERIOR FIT OUT OF GROUP B OCCUPANCY OFFICE TENANT SPACE INCLUDING INSTALLATION OF NON-LOAD BEARING INTERIOR PARTITIONS, FLOOR FINISHES, SUSPENDED CEILINGS, PERFORM REPAIRS IN STAIR B AT 6TH – 7TH FLOOR RUNS, RENOVATE 7TH FLOOR BATHROOMS TO PROVIDE ACCESSIBILITY, NEW PANTRIES AND DRINKING FOUNTAINS AT THE 6TH & 7TH FLOORS, STRUCTURAL WORK TO ACCOMMODATE NEW LOADS, UPGRADED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK. NO CHANGE TO USE, EGRESS, OR OCCUPANCY. DEMOLITION / ABATEMENT PREVIOUSLY COMPLETED AND SIGNED OFF BY OTHERS UNDER SEPARATE APPLICATION.
STORIES	9 STORIES + CELLAR (HIGH-RISE)
OCCUPANCY	B, OFFICE
CONSTRUCTION CLASS	1968 CODE, CONSTRUCTION CLASS I-C, FULLY SPRINKLERED
EXISTING BUILDING AREA (SF) INCLUDING SUBGRADE LEVELS	88,000 (10 FLOORS AT 8,800 SF EACH)
PRIOR CODE BUILDING (Y/N)?	Y, 1968 CODE

EBC CONSIDERATIONS	
WORK AREA (SF)	3,461 SF ON 6TH FLOOR + 7,878 SF ON 7TH FLOOR = 11,339 SF
WORK AREA / EXIST. BUILDING AREA %	12.89%
WORK AREA RELATIVE TO BUILDING AREA	<50%
EBC ALTERATION LEVEL (LEVEL 1 OR LEVEL 2)	LEVEL 1
CHANGE OF OCCUPANCY (Y/N)?	N
ADDITION (Y/N)?	N
TENANT/OCCUPANT PROTECTION PLAN REQUIRED?	BUILDING IS OCCUPIED BY NON-RESIDENTIAL TENANTS, OPP REQUIRED.
APPLICABLE EBC CHAPTERS	CHAPTER 3 – GENERAL APPLICABLE PROVISIONS / CHAPTER 7 - STRUCTURAL CHAPTER 8 – ALTERATION LEVEL 1 / CHAPTER 15 – SAFETY IN OCCUPIED BUILDINGS CHAPTER 15 - SAFETY IN OCCUPIED BUILDINGS
CERTIFICATE OF OCCUPANCY REQUIRED (AC 28-118) (Y/N)?	N

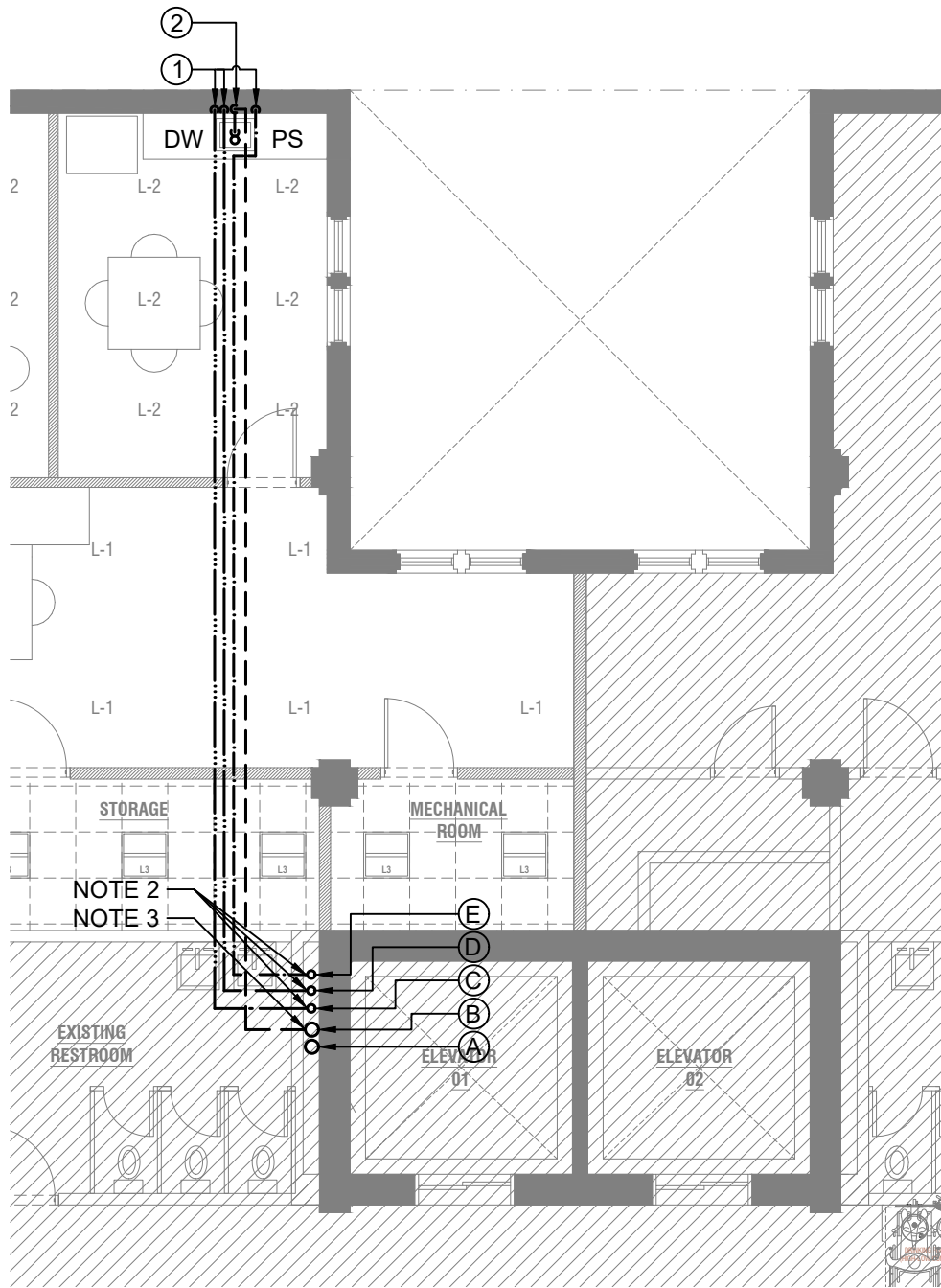
PLUMBING SECTION		REQUIREMENTS	APPLIES?	COMPLIANCE
810.1	GENERAL	PLUMBING SYSTEMS INCLUDING ELEMENTS AND SYSTEM COMPONENTS, PIPING AND FIXTURES WITHIN THE WORK AREA IN BUILDINGS UNDERGOING ALTERATION LEVEL 1 SHALL COMPLY WITH THE NYC PLUMBING CODE, SECTION 310 OF THIS CODE AND THIS SECTION, AS APPLICABLE.	Y	GENERAL
310.1	PLUMBING FIXTURES	ALTERATIONS, ADDITIONS OR REPAIRS OF INSTALLATIONS OF PLUMBING SYSTEMS SHALL CONFORM TO THE REQUIREMENTS FOR NEW INSTALLATIONS WITHOUT REQUIRING THE EXISTING INSTALLATION TO COMPLY WITH ALL OF THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE. THIS SECTION, AND THE APPLICABLE PROVISIONS OF CHAPTERS 8, 9, 10, AND 11 OF THIS CODE, ALTERATIONS, ADDITIONS, OR REPAIRS SHALL NOT CAUSE AN EXISTING INSTALLATION TO BECOME UNSAFE, HAZARDOUS, OR OVERLOADED.	Y	COMPLIES. ALL ALTERED WORK COMPLIES WITH THE CURRENT NYC PLUMBING CODE.
310.2	PLUMBING FIXTURES	THE NUMBER OF EXISTING PLUMBING FIXTURES SHALL BE INCREASED WHERE THE ALTERATION WORK RESULTS IN AN OCCUPANT LOAD INCREASE GREATER THAN 10 PERCENT, WHEN CALCULATED IN ACCORDANCE WITH CHAPTER 10 OF THE NYC BC, AND SECTION 403 OF THE NYC PC REQUIRES THE ADDITIONAL INSTALLATION OF MORE THAN 1 PLUMBING FIXTURE.	Y	COMPLIES. NO INCREASE IN OCCUPANT LOAD; ADDITIONAL PLUMBING FIXTURES ARE NOT REQUIRED.
810.2	INSULATION OF CONCEALED PIPING	TO THE EXTENT REQUIRED BY THE NYC ENERGY CONSERVATION CODE, WHERE CONCEALED EXISTING PIPING IS EXPOSED DURING A LEVEL 1 ALTERATION, SUCH PIPING SHALL BE INSULATED PER EBC SECTION 302.9.4.	Y	COMPLIES. EXPOSED CONCEALED PIPING DURING RENOVATION SHALL BE INSULATED
310.7	ALTERED PLUMBING SYSTEMS	SANITARY DRAINAGE MODIFICATIONS MUST COMPLY WITH CHAPTER 7 OF NYC PLUMBING CODE AND DEP REQUIREMENTS	Y	COMPLIES. EXISTING CAPACITY EVALUATED FOR NEW CONNECTIONS, FOUND ADEQUATE
302.9	ALTERED PLUMBING SYSTEMS	ALTERATIONS, ADDITIONS, OR REPAIRS SHALL NOT CAUSE AN EXISTING INSTALLATION TO BECOME UNSAFE, HAZARDOUS, OR OVERLOADED.	Y	COMPLIES. NO HAZARDOUS ELEMENTS ARE BEING INTRODUCED IN THE SYSTEM
106.2.8	CONSTRUCTION DOCUMENTS REQUIRED	CONSTRUCTION DOCUMENTS FOR PLUMBING WORK TO BE PERFORMED SHALL BE SUBMITTED AS REQUIRED BY THE NEW YORK CITY PLUMBING CODE.	Y	COMPLIES. PLUMBING DRAWINGS INCLUDE PLANS, RISERS, AND FIXTURE SCHEDULE
1501.1	MAINTAIN SAFE CONDITIONS DURING CONSTRUCTION	MAINTAIN SAFE CONDITIONS DURING CONSTRUCTION	Y	COMPLIES. BUILDING REMAINS OCCUPIED; PLUMBING WORK CONTROLLED



1 6TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 5TH FLOOR PART PLAN
SCALE: 1/8" = 1'-0"



6 6TH FLOOR PART PLAN - DOMESTIC WATER/VENT
SCALE: 1/8" = 1'-0"

PLUMBING FIXTURE ROUGHING SCHEDULE							
TAG	FIXTURE	SERVICES					MANUF.
		TRAP	S/W	V	CW	HW	
LAV	LAVATORY	1½"	2"	1½"	½"	½"	AS PER ARCHITECTURAL SPECIFICATIONS
PS	PANTRY SINK	1½"	2"	1½"	½"	½"	
DW	DISHWASHER	N/A	1-1/2"	N/A	N/A	½"	
DF	DRINKING FOUNTAIN	1½"	2"	1½"	½"	½"	
WC	WATER CLOSET	N/A	4"	2"	1"	N/A	

PIPING INSULATION SCHEDULE		
PIPING TYPE	R VALUE	INSULATION THICKNESS (IN)
DOMESTIC COLD WATER PIPING (1½ IN AND SMALLER)	R-3	½
DOMESTIC COLD WATER PIPING (LARGER THAN 1½ IN)	R-3	1
DOMESTIC HOT AND RECIRCULATED WATER PIPING (1½ IN AND SMALLER)	R-3	1½
DOMESTIC HOT AND RECIRCULATED WATER PIPING (LARGER THAN 1½ IN)	R-3	2

PIPING LEGEND:

- Ⓐ EXISTING 4" SANITARY RISER
- Ⓑ EXISTING 4" VENT RISER
- Ⓒ EXISTING DHWR RISER
- Ⓓ EXISTING DHWS RISER
- Ⓔ EXISTING DCW RISER
- ① 1/2" DCW / DHWS / DHWR DN
- ② 2" SAN, 1 1/2" VENT DN
- ③ 2" VENT DN
- ④ 1" DCW DN
- ⑤ 2" SAN UP
- ⑥ 2" VENT UP

NOTES:

- TO THE EXTENT REQUIRED BY THE NYC ENERGY CONSERVATION CODE, WHERE CONCEALED EXISTING PIPING IS EXPOSED DURING A LEVEL 1 ALTERATION, SUCH PIPING SHALL BE INSULATED PER EBC SECTION 302.9.4.
- CONNECT NEW 1/2" DCW/DHWS/DHWR PIPING TO EXISTING DCW/DHWS/DHWR RISERS. PROVIDE NEW BRANCH SHUT-OFF VALVES. REPLACE DAMAGED INSULATION WITH NEW.
- CONNECT NEW 1-1/2" VENT PIPING TO EXISTING VENT RISER.
- ALL LAVATORIES AND PANTRY SINKS SHALL BE EQUIPPED WITH THERMOSTATIC MIXING VALVES IF TEMPERATURE EXCEEDS 110 DEG. F.
- MAXIMUM ALLOWABLE PIPING LENGTH. MAXIMUM DISTANCE FROM WATER HEATER EACH OF THE FIXTURES:

PIPE SIZE	MAX LENGTH
1/2"	43 ft

EBC Case Study #1

OWNER:

NYC

Buildings

ICC

INTERNATIONAL CODE COUNCIL

ARCHITECT:

FIRM NAME

[Address1]
[Address2]

MEP ENGINEER:

STRUCTURAL ENGINEER:

FACADE ARCHITECT:

DOB APPROVAL STAMP:

DOB JOB NUMBER/STICKER:

SEAL:

DRAWING TITLE:

PLUMBING
6TH FLOOR PLAN

PROJECT #: XX-XX DATE: 03.05.2021

PAGE: OF XX SHEET TITLE:

P-100.00

SUMMARY	
PROJECT TYPE:	INTERIOR ALTERATION
JOB DESCRIPTION / SCOPE OF WORK	PARTIAL 6TH & FULL 7TH FLOOR INTERIOR FIT OUT OF GROUP B OCCUPANCY OFFICE TENANT SPACE INCLUDING INSTALLATION OF NON-LOAD BEARING INTERIOR PARTITIONS, FLOOR FINISHES, SUSPENDED CEILINGS, PERFORM REPAIRS IN STAIR B AT 6TH – 7TH FLOOR RUNS. RENOVATE 7TH FLOOR BATHROOMS TO PROVIDE ACCESSIBILITY. NEW PANTRIES AND DRINKING FOUNTAINS AT THE 6TH & 7TH FLOORS. STRUCTURAL WORK TO ACCOMMODATE NEW LOADS. UPGRADED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK. NO CHANGE TO USE, EGRESS, OR OCCUPANCY. DEMOLITION / ABATEMENT PREVIOUSLY COMPLETED AND SIGNED OFF BY OTHERS UNDER SEPARATE APPLICATION.
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WORK AREA RELATIVE TO BUILDING AREA	<50%
EBC ALTERATION LEVEL (LEVEL 1 OR LEVEL 2)	LEVEL 1
CHANGE OF OCCUPANCY (Y/N)?	N
ADDITION (Y/N)?	N
TENANT/OCCUPANT PROTECTION PLAN REQUIRED?	BUILDING IS OCCUPIED BY NON-RESIDENTIAL TENANTS, OPP REQUIRED.
APPLICABLE EBC CHAPTERS	CHAPTER 3 – GENERAL APPLICABLE PROVISIONS / CHAPTER 7 - STRUCTURAL CHAPTER 8 – ALTERATION LEVEL 1 / CHAPTER 15 – SAFETY IN OCCUPIED BUILDINGS CHAPTER 15 - SAFETY IN OCCUPIED BUILDINGS
CERTIFICATE OF OCCUPANCY REQUIRED (AC 28-118) (Y/N)?	N

PLUMBING				
SECTION		REQUIREMENTS	APPLIES?	COMPLIANCE
810.1	GENERAL	PLUMBING SYSTEMS INCLUDING ELEMENTS AND SYSTEM COMPONENTS, PIPING AND FIXTURES WITHIN THE WORK AREA IN BUILDINGS UNDERGOING ALTERATION LEVEL 1 SHALL COMPLY WITH THE NYC PLUMBING CODE, SECTION 310 OF THIS CODE AND THIS SECTION, AS APPLICABLE.	Y	GENERAL
310.2	PLUMBING FIXTURES	THE NUMBER OF EXISTING PLUMBING FIXTURES SHALL BE INCREASED WHERE THE ALTERATION WORK RESULTS IN AN OCCUPANT LOAD INCREASE GREATER THAN 10 PERCENT, WHEN CALCULATED IN ACCORDANCE WITH CHAPTER 10 OF THE NYC BC, AND SECTION 403 OF THE NYC PC REQUIRES THE ADDITIONAL INSTALLATION OF MORE THAN 1 PLUMBING FIXTURE.	Y	COMPLIES. NO INCREASE IN OCCUPANT LOAD; ADDITIONAL PLUMBING FIXTURES ARE NOT REQUIRED.
810.2	INSULATION OF CONCEALED PIPING	TO THE EXTENT REQUIRED BY THE NYC ENERGY CONSERVATION CODE, WHERE CONCEALED EXISTING PIPING IS EXPOSED DURING A LEVEL 1 ALTERATION, SUCH PIPING SHALL BE INSULATED PER EBC SECTION 302.9.4.	Y	COMPLIES. EXPOSED CONCEALED PIPING DURING RENOVATION SHALL BE INSULATED
310.7	ALTERED PLUMBING SYSTEMS	SANITARY DRAINAGE MODIFICATIONS MUST COMPLY WITH CHAPTER 7 OF NYC PLUMBING CODE AND DEP REQUIREMENTS	Y	COMPLIES. EXISTING CAPACITY EVALUATED FOR NEW CONNECTIONS, FOUND ADEQUATE
302.9	ALTERED PLUMBING SYSTEMS	ALTERATIONS, ADDITIONS, OR REPAIRS SHALL NOT CAUSE AN EXISTING INSTALLATION TO BECOME UNSAFE, HAZARDOUS, OR OVERLOADED.	Y	COMPLIES. NO HAZARDOUS ELEMENTS ARE BEING INTRODUCED IN THE SYSTEM
810.2	INSULATION OF CONCEALED PIPING	EXPOSED PIPING DURING ALTERATION PROCESS SHALL BE INSULATED AS REQUIRED BY EBC, SECTION 302.9.4	Y	COMPLIES. EXPOSED CONCEALED PIPING SHALL BE INSULATED
106.2.8	CONSTRUCTION DOCUMENTS REQUIRED	CONSTRUCTION DOCUMENTS FOR PLUMBING WORK TO BE PERFORMED SHALL BE SUBMITTED AS REQUIRED BY THE NEW YORK CITY PLUMBING CODE.	Y	COMPLIES. PLUMBING DRAWINGS INCLUDE PLANS, RISERS, AND FIXTURE SCHEDULE
1501.1	MAINTAIN SAFE CONDITIONS DURING CONSTRUCTION	MAINTAIN SAFE CONDITIONS DURING CONSTRUCTION	Y	COMPLIES. BUILDING REMAINS OCCUPIED; PLUMBING WORK CONTROLLED

PLUMBING RISER CALCULATION (PER NYCPC CH.7)						
FIXTURE	DFU/ FIXTURE	NO OF FIXTURES	DFU TOTAL	WSFU/ FIXTURE COLD	WSFU/ FIXTURE HOT	WSFU TOTAL
<u>LAV</u>	1	8	8	0.5	0.5	8
<u>PS</u>	2	2	4	1	1	4
<u>DW</u>	2	2	4	0	1.4	4
<u>DF</u>	1/2	1	1/2	0.25	0	1/2
<u>WC</u>	4	12	48	5	0	48
<u>TOTAL</u>			64.5	66.25	8.8	64.5
EXISTING 4" SAN RISER IS ADEQUATE FOR 64.5 DFU EXISTING 2" DW RISER IS ADEQUATE FOR 66.25 WSFU EXISTING 1.5" DHW RISER IS ADEQUATE FOR 8.8 DFU						

